



★ARCHITECTURE★
—•••••—
REPORT

PREPARED BY
SUSAN M. HENDERSON
PLACEMAKERS, LLC
31 OCTOBER 05



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SECTION A



★DESIGN TEAM★

SUSAN M. HENDERSON, AIA

Susan Henderson served as team leader for the Mississippi Renewal Forum architecture team. As a founding Principal of PlaceMakers, LLC Susan currently serves as Director of Design. She oversees PlaceMakers' design services, including Pattern Books, SmartCode customizations, and Planning. The PlaceMakers Pattern Books ensure context appropriate projects in which architectural detail is of the highest quality, and is regionally calibrated and carefully integrated within the Transect.

In a career that began in Austin, Texas, and included work on the Federal Courthouse Complex renovation and expansion there, Susan has since brought her keen understanding of architecture and planning to community design/build projects throughout the southern United States, including seven years with Mouzon & Associates, Architects in Huntsville, Alabama, where she helped set a new standard for both classical and vernacular architecture in the region. Susan is a licensed architect in Mississippi, Alabama, and New Mexico. She lives and works amidst the southwestern charms of Albuquerque, New Mexico.

STEPHEN A. MOUZON

Steve is a principal of both the New Urban Guild and PlaceMakers, both headquartered in Miami. Steve's house plans continue to be featured in Southern Living, and have been Plan of the Month numerous times. He has authored or contributed to a number of publications in recent years, including the Public Works Manual (co-authored with Andres Duany & Daisy Kone). Other publications include Biltmore Estate Homes (Southern Living), Architectural Elements: Traditional Construction Details (McGraw-Hill), 1001 Traditional Construction Details (McGraw-Hill) & Traditional Construction Patterns.

Steve is also continuing to shoot new editions of his Catalog of the Most-Loved Places. The Catalog typically includes every structure built before about 1925 in various historic towns or districts. Steve has been an advocate for traditional town planning & smart growth since the early 1980's. He has one of the best private architectural & town planning libraries in the region at over 2,000 volumes, and is currently the Town Architect at several New Urbanist developments. Steve served as the pre-charrette architecture team leader.

ALLISON H. ANDERSON, AIA

As principal architect of Unabridged Architecture, Allison Anderson focuses on projects with a strong community design component, and is dedicated to creating sustainable places through the preservation and enhancement of existing structures and communities. Active collaboration with clients, consultants, and user groups demonstrates a commitment to an inclusive design process.

Expanding work in community development and planning includes the Hancock County Greenways Project for open space enhancement, an economic development plan for Waveland's historic downtown Coleman Avenue, facilities planning for the Grand Bay National Estuarine Research Reserve and the Hancock County Chamber of Commerce's Vision 2000.

Environmental education projects include master planning and designs for boardwalks and pavilions to work within sensitive landscapes at sites including the Gulf Coast Botanical Garden at Beauvoir, Huckleberry Hill at the University of Southern Mississippi, and the Mississippi Coastal Preserve Program. Planning for relocation of the Wildlife Rehabilitation and Nature Preservation Society is currently underway.

Architectural work includes a variety of commercial, institutional, retail, and residential projects include design for St. Rose de Lima Parish in Bay St. Louis, Gulfside United Methodist Assembly in Waveland, Coast Episcopal School in Pass Christian, and a number of award-winning residences and retail projects. Historic preservation projects include The Lumberyard Art Center in Bay St. Louis, and the Historic Waveland Elementary School in Waveland, Mississippi.

In addition to professional practice, writing and teaching skills combine to create effective means for communication about architecture. Ms. Anderson has taught architecture at the University of Texas, Louisiana State University, and Tulane University. Ms. Anderson earned a Master of Architecture degree from the University of Texas, and a Bachelor of Architecture degree from the University of Southern California. She has been a licensed architect since 1991. She holds NCARB certification, and is licensed in Texas, Mississippi, and Nevada.

JOHN ANDERSON, AIA

Mr. Anderson serves as Project Planner and Project Architect. He has over 15 years of professional experience, including several recent assignments for master planning and conceptual design. John is the firm resource for sustainability and green design issues under the Leadership in Energy and Environmental Design (LEED) Green Building Rating System.

John completed his Master of Architecture at the University of Texas in the Charles Moore Post-Professional Graduate Program. His Bachelor of Architecture is from the University of Southern California. Education Master of Architecture, University of Texas, 1990. He has been with Eskew+Dumez+Ripple of New Orleans, LA since 1994.

John's civic interests include acting as the New Orleans AIA Sustainable Design Discussion Group Coordinator, serving on the St. Rose De Lima Church Stewardship and Growth Committee, as the Project Coordinator for Hancock County, MS Christmas in April, and sitting on the Board of the Bay St. Louis Little Theatre.

R. JOHN ANDERSON

Mr. Anderson is the VP of Planning and Design for New Urban Builders. His responsibilities include site planning and urban design from conceptual work through final engineering and improvement plans, as well as product development for buildings constructed and sold by New Urban Builders. The firm's building designs may be constructed with a full range of production techniques, including modular, panelized and site-built.

John has 30 years experience in the construction design and development industry. Prior to joining Tom DiGiovanni to form New Urban Builders in 2001, Mr. Anderson managed Anderson Lamb and Associates, a small design firm serving builders, developers and public agencies in Minnesota, Wisconsin, North Carolina, South Carolina, Florida, Georgia, Texas and California.

Before launching his own firm in 1992, Mr. Anderson was one of seven project managers for the development and construction the Mall of America for Melvin Simon and Associates. (Now the Simon Property Group REIT).

MARIANNE CUSATO

Marianne Cusato is the author of the forthcoming book, Get Your House Right, How to Avoid Common Mistakes in Today's Traditional Architecture, with Ben Pentreath, Richard Sammons and Leon Krier, forward by HRH The Prince of Wales. This book seeks to restore an understanding of how to speak the language of traditional architecture by illustrating where common mistakes happen and instructing how to avoid these mistakes.

She has recently established Marianne Cusato Associates in New York, a firm specializing in traditional design. The firm's projects include buildings in TND's through the southeast. Marianne works closely with Somerset Development in New Jersey and is Town Architect for their traditional neighborhood development Wesmont Station, in Wood Ridge, NJ, a project master planned by Duany Plater-Zyberk & Company.

Through lectures, workshops and seminars, she works to provide educational resources for practitioners to designing and building traditional architecture.

CHRISTINE G. H. FRANCK

Christine G. H. Franck is a designer and educator with a small office based in New York City. Her work includes residential design and decoration, writing, speaking, and the direction of educational programs. From 1997 - 1998 she was the Executive Director of the Institute of Classical Architecture. For the last seven years she has served as Volunteer Director of Academic Programs for the ICA&CA developing several acclaimed nationwide educational programs for professional groups including the AIBD. She holds a BS Arch from the University of Virginia and a MArch from the University of Notre Dame and currently serves on the Board of the ICA&CA and the Management Committee of INTBAU. In 2002 Ms. Franck was honored by HRH The Prince of Wales with the first Public Service Award of the Prince's Foundation. Her work and essays have been published in The New York Times, Residential Architect, Architecture Magazine, Period Homes Magazine, The Classicist, and New Old House Magazine, among others.



DESIGN TEAM



Photos courtesy of Sandy Sorlien

MILTON WILFRED GRENFELL

Milton Wilfred Grenfell has since his firm’s inception in 1986 committed himself to practicing in the Great Tradition of Western architecture and urbanism. With an active practice encompassing design from town centers to fireplace mantles, Grenfell also finds time to lecture, write essays for a wide number of journals, serve on professional panels, and exhibit internationally. His work has been published in numerous periodicals and the books Building Classical: A Vision of Europe and America (1993), Southern Style (1999), and A Decade of Art & Architecture 1992 – 2002 (2002). He is active in architectural preservation, and is a founding member of the Charlotte Chapter of The Institute of Classical Architecture & Classical America. His work has received numerous awards, including the Arthur Ross award in 1997. He is currently designing an extension to the eighteenth century colonial capital of Edenton, North Carolina, involved in an ongoing work on the expansion of Duke University, designing civic buildings for new traditional neighborhoods and a full compliment of high end residential, ranging from upstate New York to Mississippi. Milton is a licensed architect in Mississippi.

MICHAEL G. IMBER

Michael G. Imber, Architect, PLLC, is a classical design firm based in San Antonio, Texas. We are a studio of diverse individuals with advanced studies in traditional architecture, preservation, and landscape architecture, including extended studies in Italy, Spain, France, and Mexico, sharing a commitment to the continuum of traditional American architecture. It is our belief that craft and material and the process of traditional design are a compliment to our modern lifestyles.

GARY WILLIAM JUSTISS

After graduating from Auburn University in 1978, Gary worked for The Ritchie Organization and Evan Terry Associates Architects for approximately 14 years. During this time he designed numerous medical, institutional, religious and commercial projects. In 1992, Gary opened his own one-man firm to pursue a residential practice specializing primarily in beach homes on the coast of the Gulf of Mexico and almost exclusively within new urbanist communities. He has also served as Town Architect at Blount Springs, a DPZ new town, and has provided design review services for several more communities. Gary has become a frequent participant as a sub-consultant at DPZ charrettes. His work includes homes in Seaside, Rosemary Beach, Alys Beach, WaterColor, Mt. Laurel, Blount Springs and Carillon Beach. Gary is a member of the Institute for Classical Architecture, the New Urban Guild, the Congress for the New Urbanism and the Seaside Institute. He is registered in Alabama, Florida and Mississippi.

ERIC MOSER

Eric Moser, President of Moser Design Group, Inc. (MDG), along with a dedicated staff of professionals has built a reputation over the last 20 years as Designers of fine custom residential architecture. As a member of the New Urban Guild and the Congress for New Urbanism, Eric, and MDG dedicate their work to the planning and architectural fulfillment of New Urbanist and Traditional Neighborhood communities.

MDG’s s involvement with New Urbanism began in 1992 with the pioneering neighborhood of Newpoint, in Beaufort, SC. Since then, they have been involved with many TNDs throughout the region, including Eric’s home village of Habersham, I’ON, Lost Rabbit, East Beach, and Vermillion; providing building types ranging from 600 square foot bungalows, to manor houses, to town center civic buildings. Eric is a frequent consultant for Duany Plater-Zyberk (DPZ) and The New Urban Guild. He often participates in architectural charrettes for new and old towns, hamlets, and neighborhoods; collaborating to plan, analyze and reintroduce the historic local and regional building patterns that made most old towns so successful. Over time, this broad array of experience has allowed the team at MDG to refine the craft of place-making. Much of their work has been published in a variety of magazines including: “Southern Accents,” “Architecture,” “Southern Living,” “The Wall Street Journal,” and “America’s 100 Best Places to Retire,” to name a few. In 2000 MDG was one of 25 architects and designers selected to be featured in, bestselling author, Sarah Susanka’s book “Creating the Not So Big House”. In 2002 MDG designed the” Coastal Living Magazine” Cottage of the Year, which was featured in the September/October issue.

CONTRIBUTING DESIGNERS

Erika Albright & Matthew Lister
Michael Barranco
Eric Brown
Marice Chael
Frank Greene
Carl H. Jahnes
Alex Latham
Chris Linvill & Chris Andrews
Geoffrey Mouen
Lew Oliver
Dan Osborne
Laura A. B. Welsh & Jeremy Matthew Welsh

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DESIGN TEAM



Photos courtesy of Paul Crawford



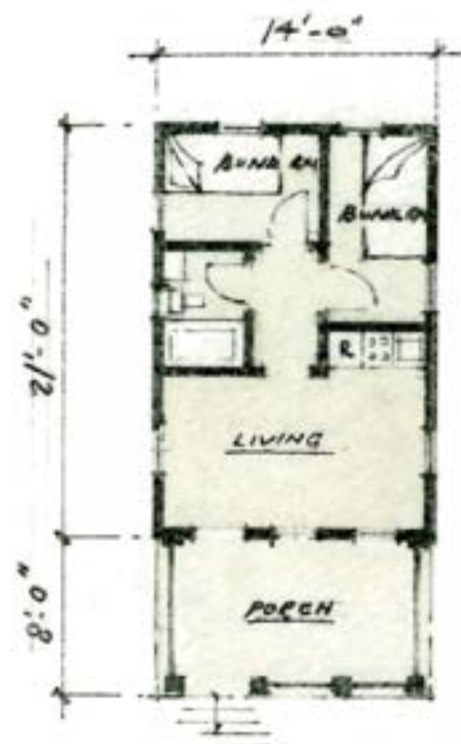
SECTION B

—◆—
★SOLUTIONS★

CHAPTER I

★EMERGENCY HOUSING★





MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONVENOR FOR THE
NEW ORLEANS

Emergency Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

294 sq. ft. cottage

Drawing Title

13 Oct 05

Date

Marianne Cusato

Name of Contact for Additional Information

mcusato@aol.com

E-mail address

HOUSING TYPE:

- ☒ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

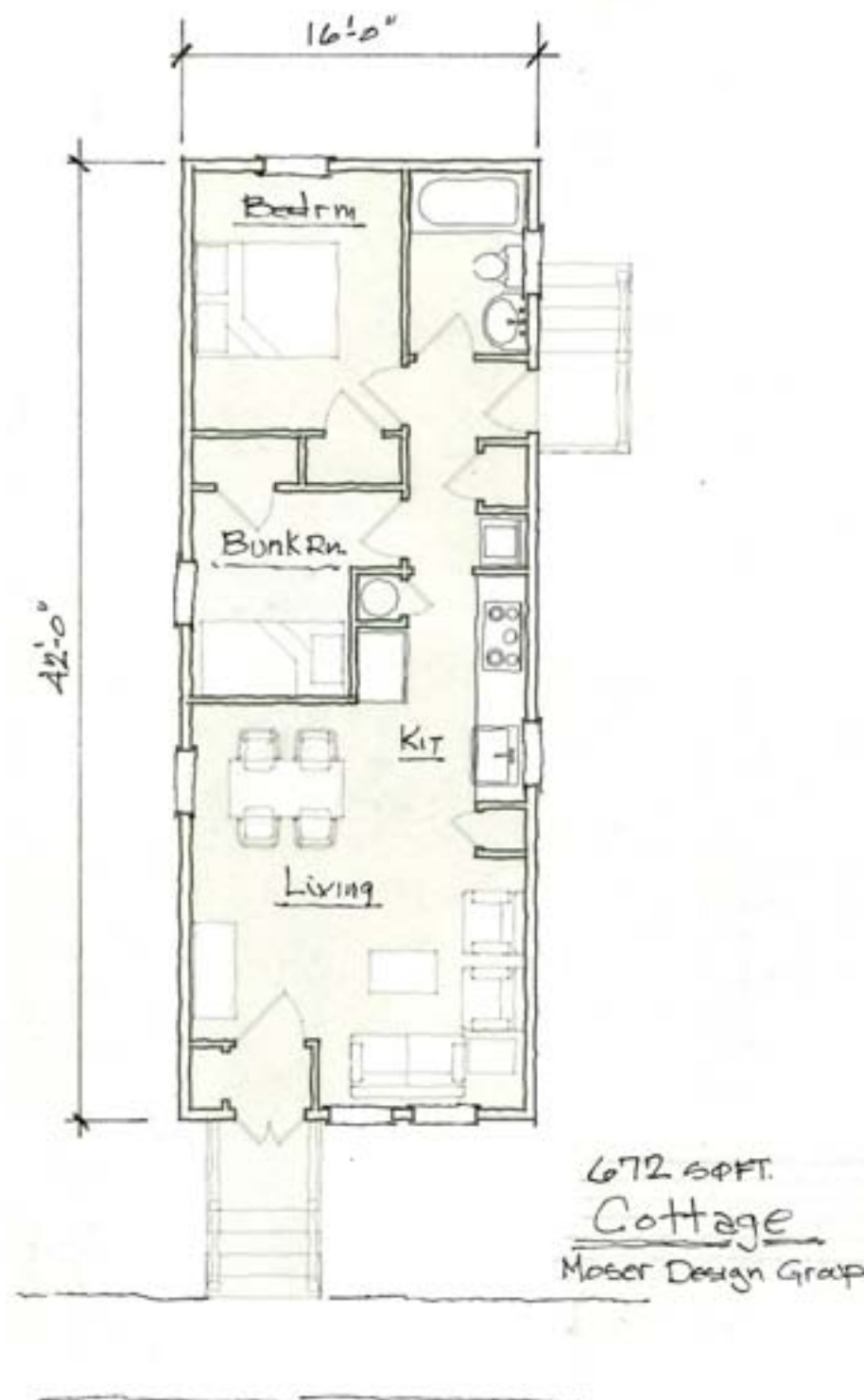
NARRATIVE: Three versions of the same small-scale emergency housing intended for immediate housing for workers and displaced residents. They can be manufactured or built on site for about \$25,000.



Elevation 1
1/8" = 1'0"



Elevation 2
Moser Design Group 1/8" = 1'0"



MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONVENOR FOR THE
NEW ORLEANS

Emergency Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

672 sq. ft. cottage

Drawing Title

13 Oct 05

Date

Eric Moser

Name of Contact for Additional Information

ericmoser@moserdesigngroup.com

E-mail address

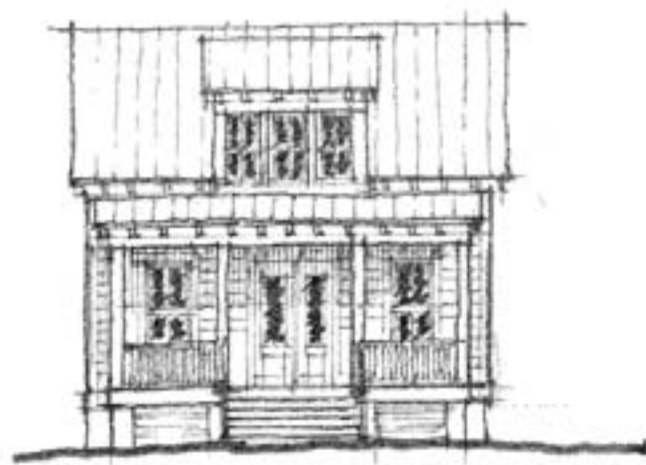
HOUSING TYPE:

- ☒ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This small-scale emergency housing is intended for immediate housing for workers and displaced residents. It can be manufactured, modular construction, panelized construction, or stick-built on site.



FLOOR PLAN
1/8" = 1'0"



ELEVATION



Emergency Housing

Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

672 sq. ft. cottage

Drawing Title

13 Oct 05

Date

Eric Moser

Name of Contact for Additional Information

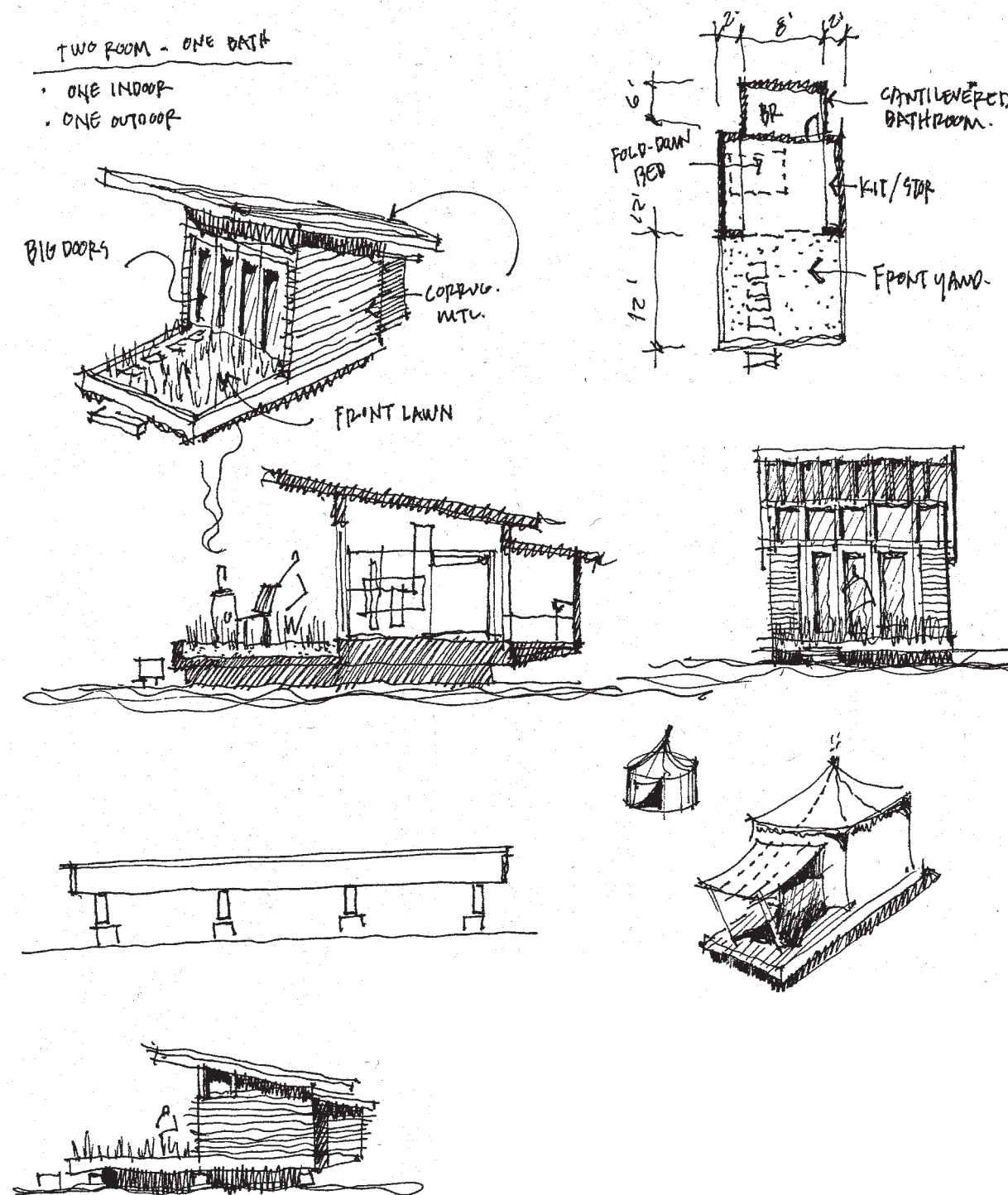
ericmoser@moserdesigngroup.com

E-mail address

HOUSING TYPE:

- ☒ Temporary
- ☐ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE: This small-scale emergency housing is intended for immediate housing for workers and displaced residents. It can be manufactured, modular construction, panelized construction, or stick-built on site.



Emergency Housing

Place or Topic

TIMING

☒ Immediate
☐ Medium Term
☐ Long Term

IMPLEMENTATION THROUGH

☒ Design
☐ Policy
☐ Management

One Pecan Skid Plate Shelter

Drawing Title

18 Oct 05

Date _____

John Anderson

Name of Contact for Additional Information

janderson@studioedr.com

E-mail address

HOUSING TYPE:

☒ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☐ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: Easily movable one-room structure for temporary/emergency housing, complete with front lawn.

JMA 3.1



Emergency Housing

Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Starter Cottage

Drawing Title

12 Oct 05

Date

Christine G. H. Franck

Name of Contact for Additional Information

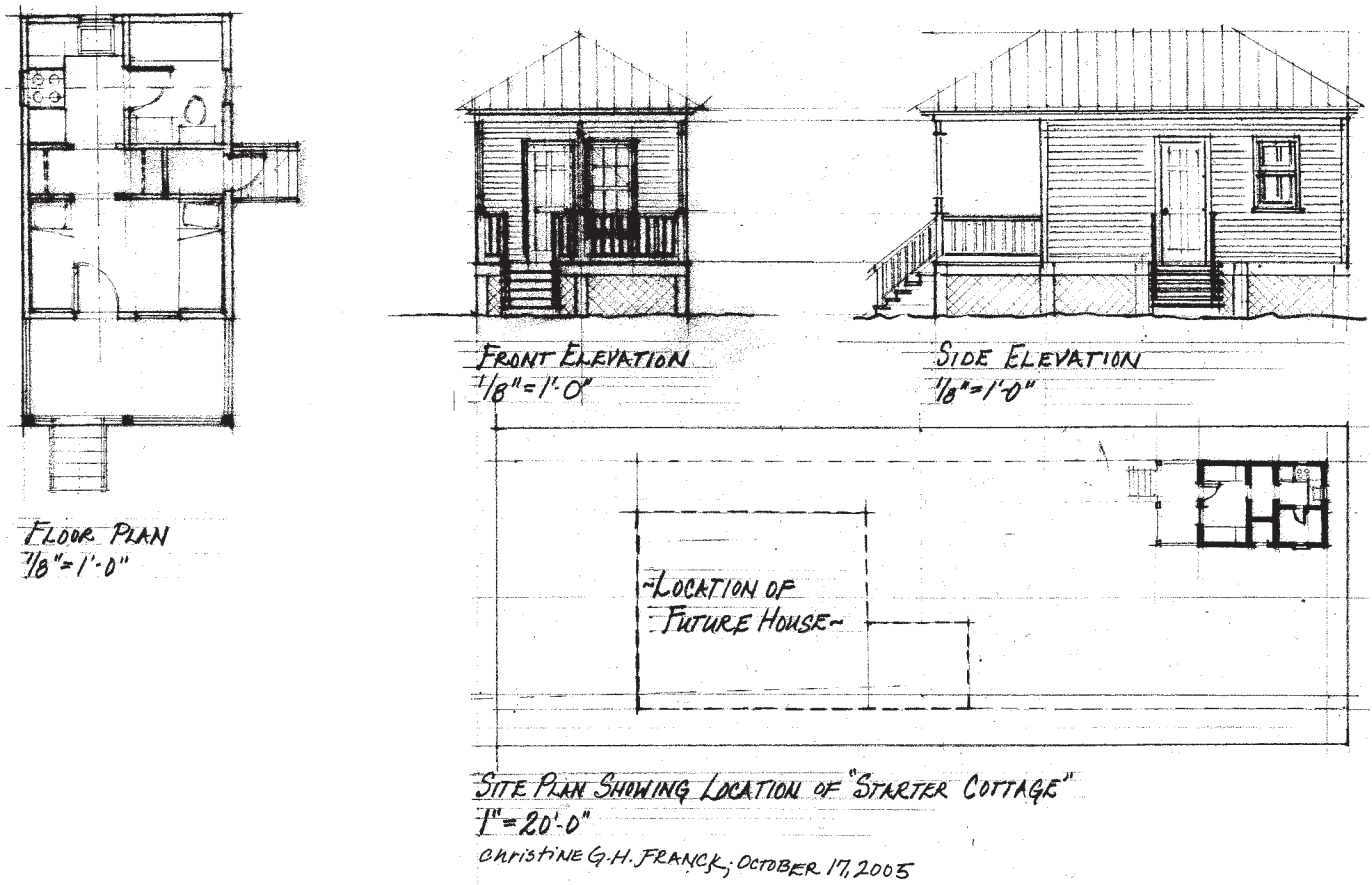
cghfranck@aol.com

E-mail address

HOUSING TYPE:

- ☒ Temporary
- ☒ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE: Studio-scale emergency housing intended for immediate housing for displaced residents. They can be manufactured, panelized or built on site, and used as a guest house when permanent housing is completed. Illustration shows lot placement for future guest house.





Emergency Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

252 sq. ft. cottage

Drawing Title

12 Oct 05

Date

Marice Chael

Name of Contact for Additional Information

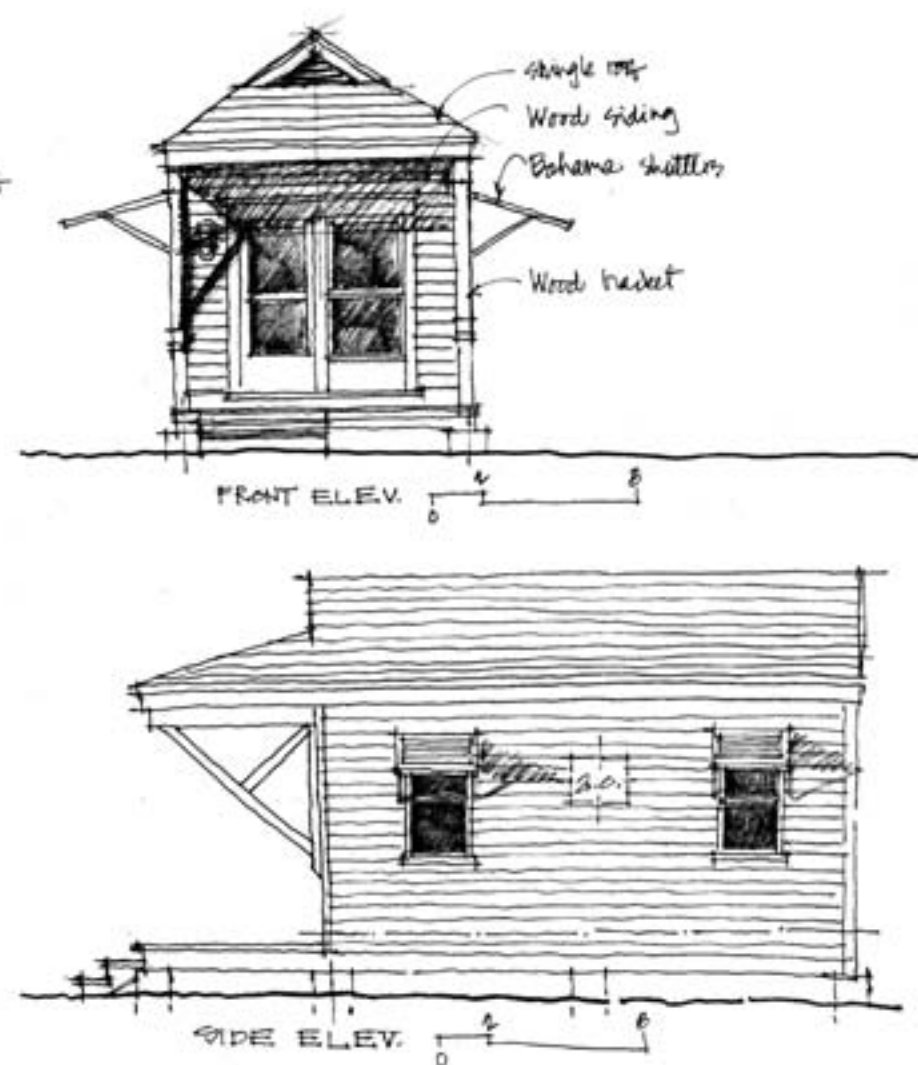
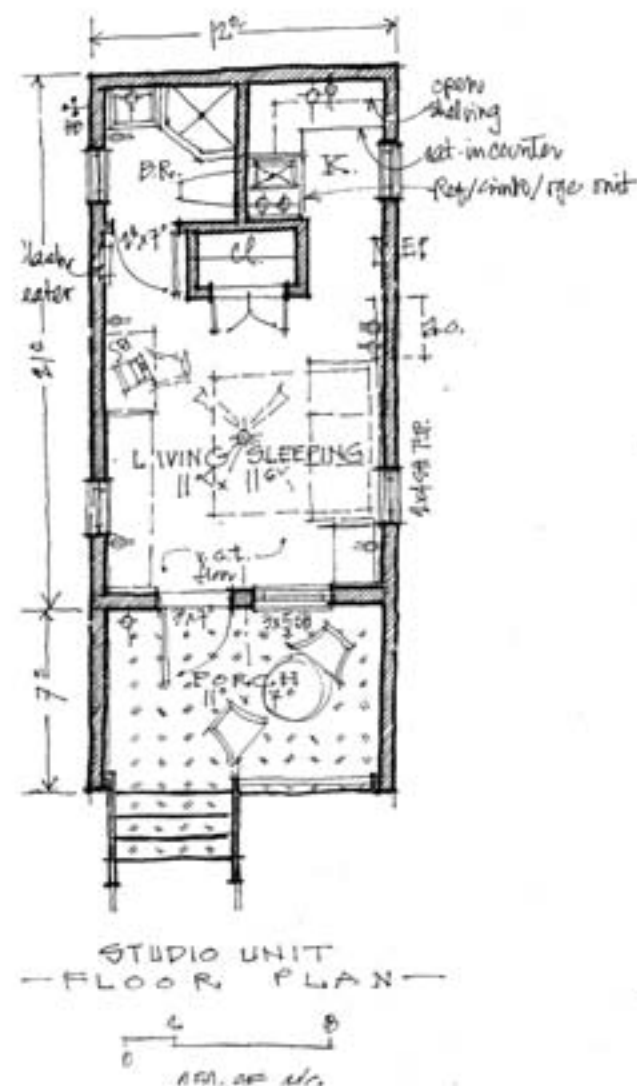
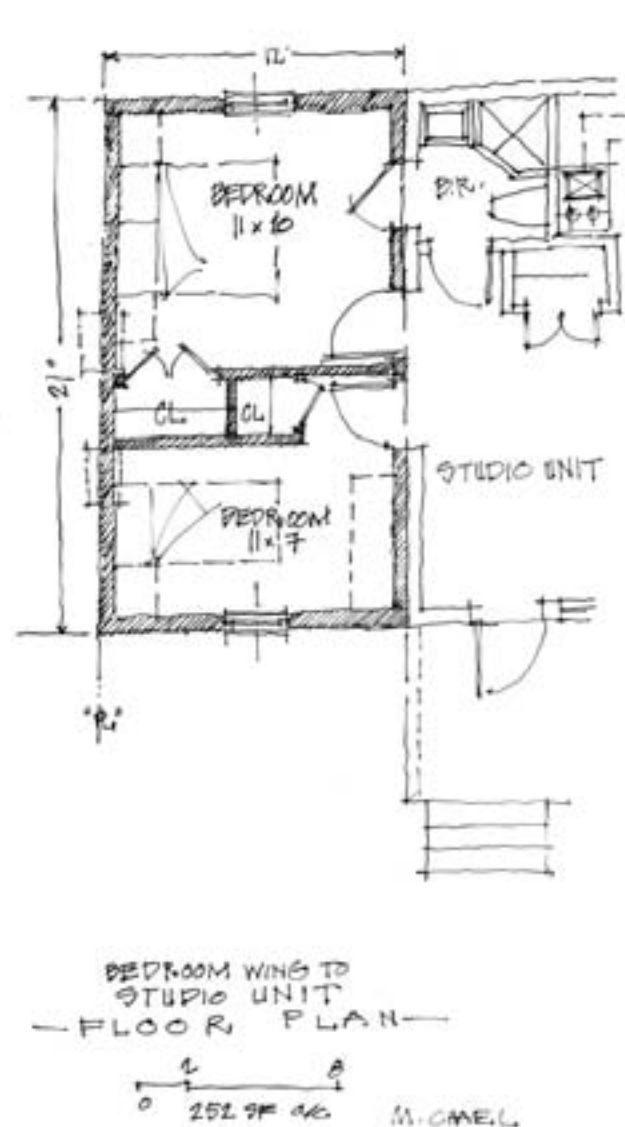
mchael@chaelcooper.com

E-mail address

HOUSING TYPE:

- ☒ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: Studio-scale emergency housing intended for immediate housing for workers and displaced residents. They can be manufactured, panelized or built on site, and used as a guest house when permanent housing is completed.





Emergency Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

12' wide elevations
Drawing Title

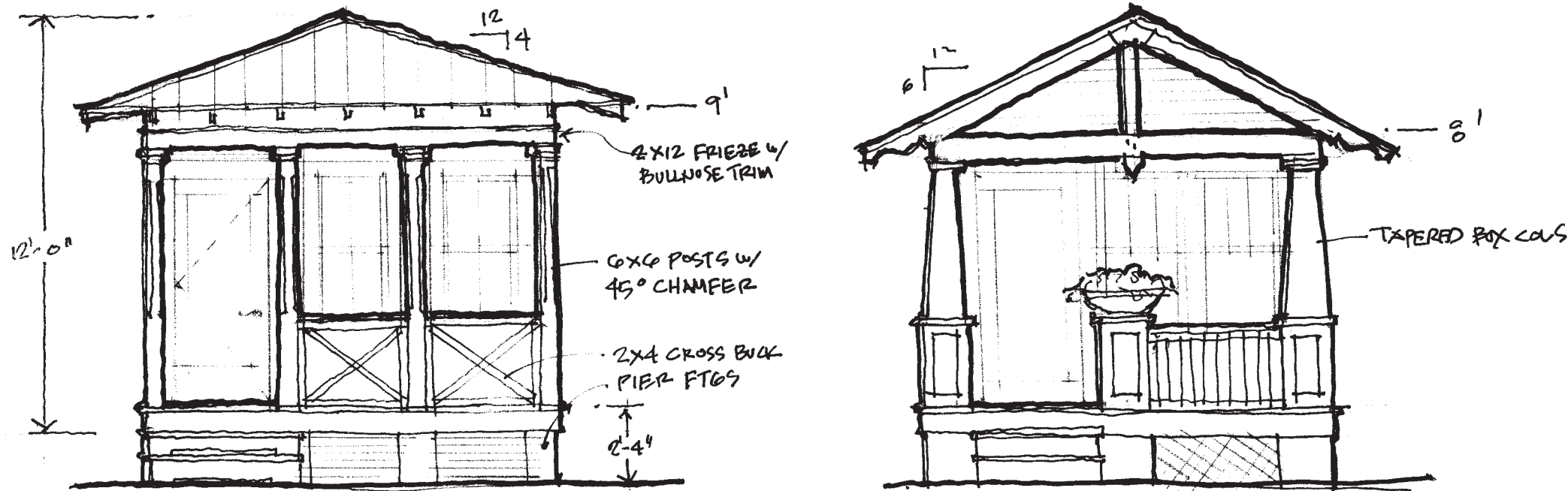
18 Oct 05
Date

Gary William Justiss
Name of Contact for Additional Information

gwjustiss@aol.com
E-mail address

HOUSING TYPE:
☒ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: Two elevation studies for 12' wide Habitat for Humanity temporary houses.



Gary William Justiss
12' wide emergency elevations



Emergency Housing
Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Habitat for Humanity elevations

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

gwjustiss@aol.com

E-mail address

HOUSING TYPE:

- ☒ Temporary
- ☒ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE: Elevations and details for two0 Habitat for Humanity temporary houses.

GARY WILLIAM
JUSTISS
ARCHITECT

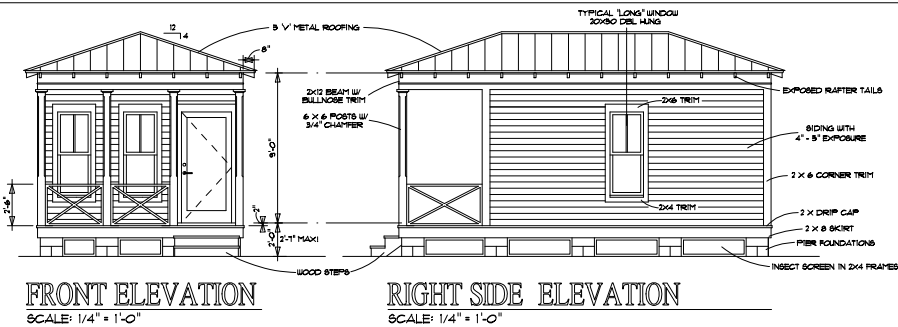
208 MAIN STREET
AT BLOUNT SPRINGS
HAYDEN, ALABAMA
36048
208-647-4044
AL# 2402 FL# AR 001808
MS# 2882 PENDING

KARNA HABITAT HOUSE
FOR WALTON COUNTY HABITAT FOR HUMANITY AND THE SEASIDE INSTITUTE

REVISIONS	NO	DESCRIPTION	DATE

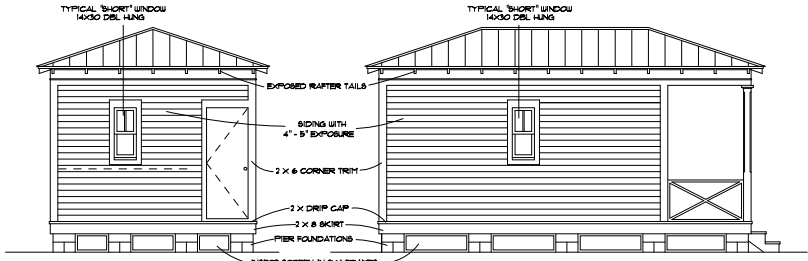
ELEVATIONS	SECTIONS	PORCH PLANS

DATE	DRAWN BY
10/26/05	JUSTISS
DRAWING	SHEET
A-1	OF 1



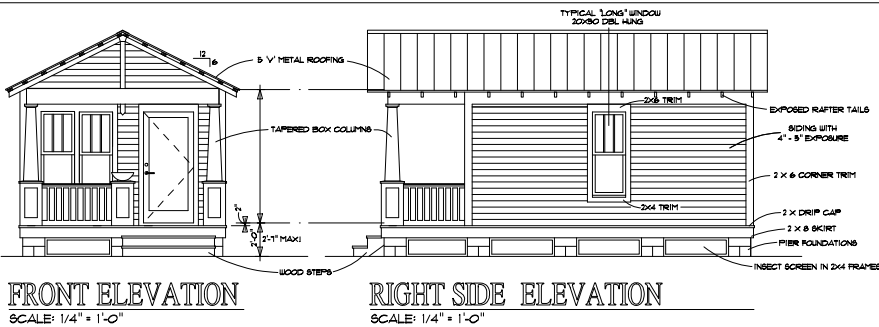
FRONT ELEVATION
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RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



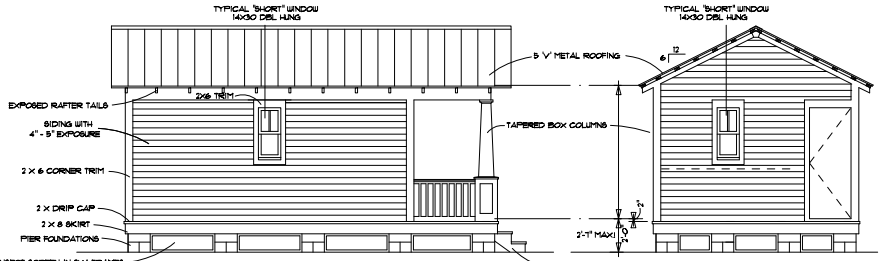
REAR ELEVATION
SCALE: 1/4" = 1'-0"

LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



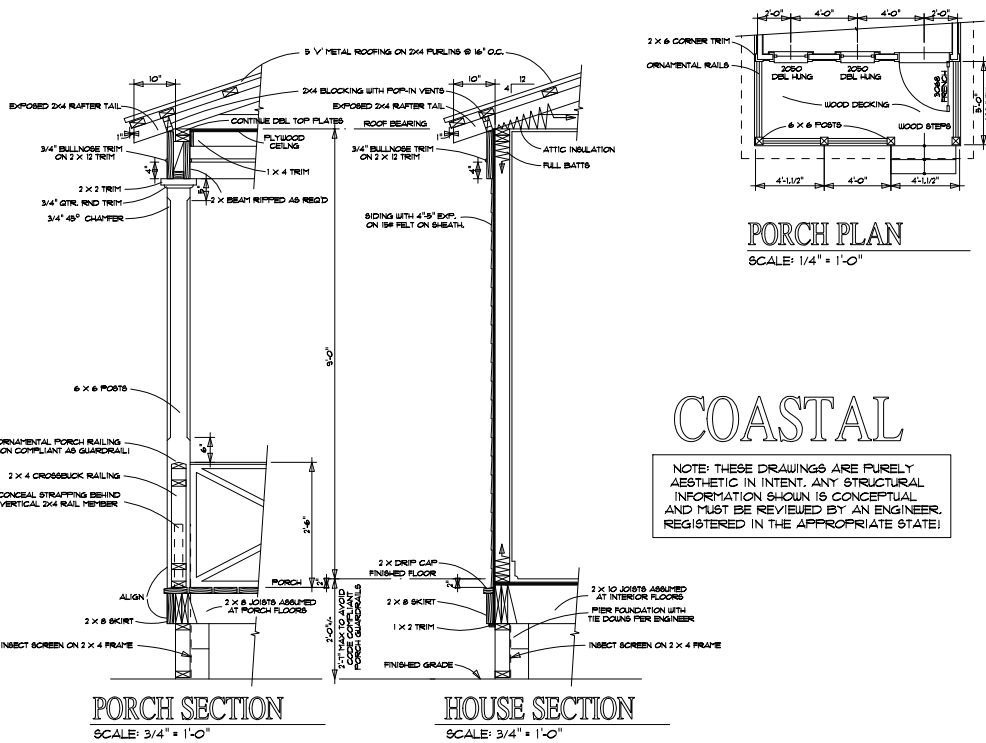
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION
SCALE: 1/4" = 1'-0"



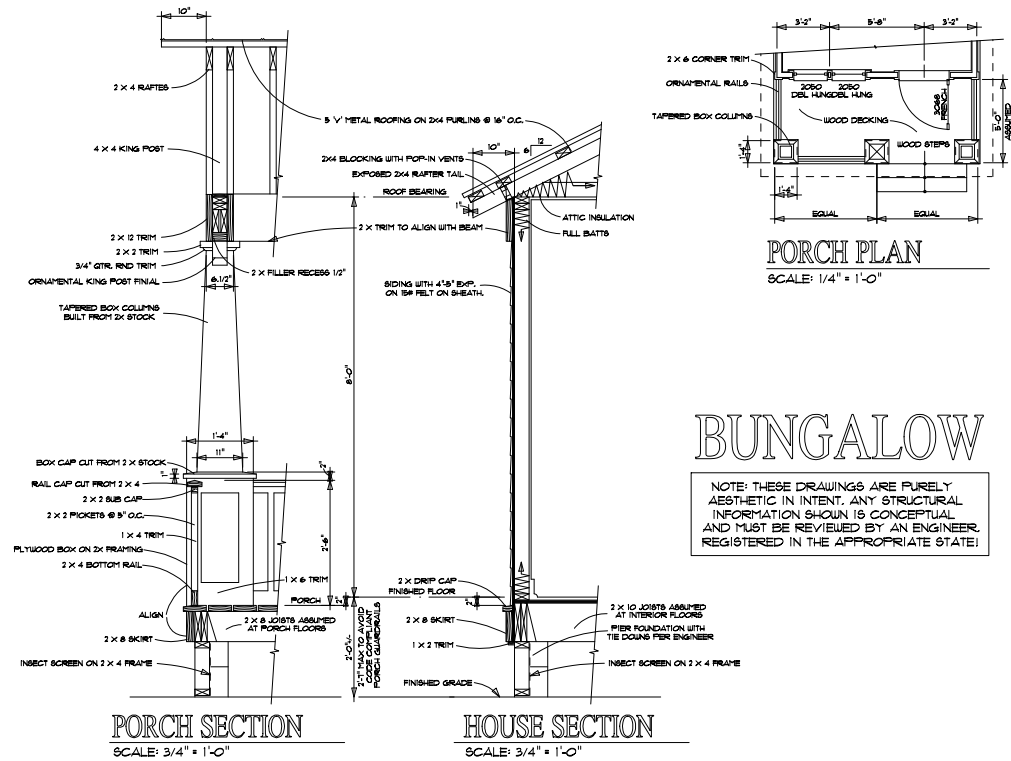
PORCH SECTION
SCALE: 3/4" = 1'-0"

HOUSE SECTION
SCALE: 3/4" = 1'-0"

PORCH PLAN
SCALE: 1/4" = 1'-0"

COASTAL

NOTE: THESE DRAWINGS ARE PURELY AESTHETIC IN INTENT. ANY STRUCTURAL INFORMATION SHOWN IS CONCEPTUAL AND MUST BE REVIEWED BY AN ENGINEER, REGISTERED IN THE APPROPRIATE STATE!



PORCH SECTION
SCALE: 3/4" = 1'-0"

HOUSE SECTION
SCALE: 3/4" = 1'-0"

BUNGALOW

NOTE: THESE DRAWINGS ARE PURELY AESTHETIC IN INTENT. ANY STRUCTURAL INFORMATION SHOWN IS CONCEPTUAL AND MUST BE REVIEWED BY AN ENGINEER, REGISTERED IN THE APPROPRIATE STATE!



Emergency Housing
Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Emergency/Worker Housing

Drawing Title

11 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

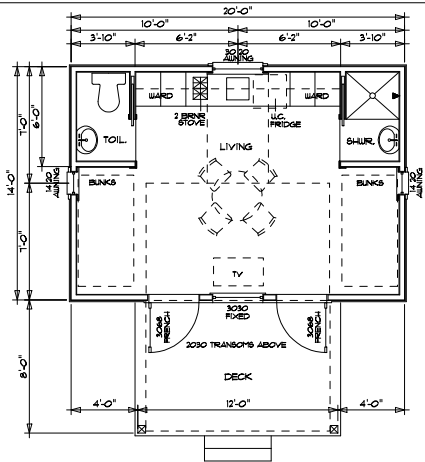
gwjustiss@aol.com

E-mail address

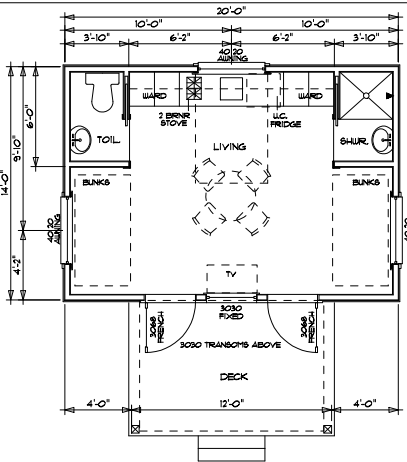
HOUSING TYPE:

- ☒ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

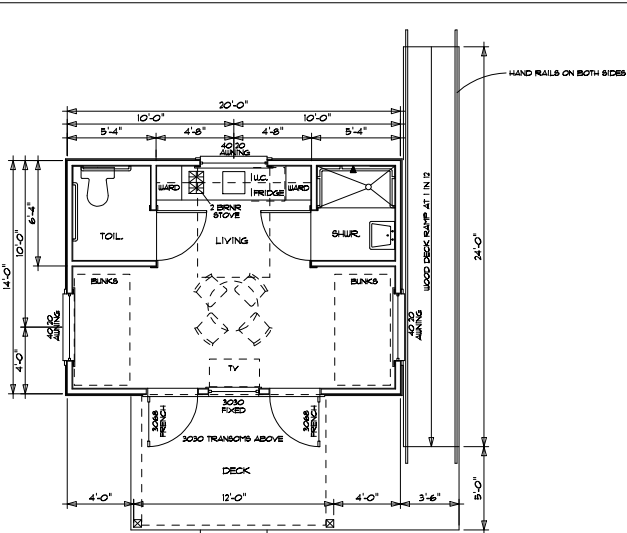
NARRATIVE: This amazingly livable plan is availbe in traditional and modern versions as well as ADA compliant. It is 280 sq. ft. with a galley kitchen, full bath, and great room with four bunks.



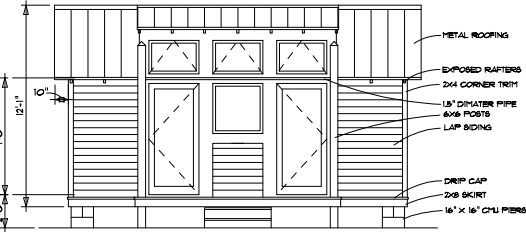
FLOOR PLAN
SCALE: 1/4" = 1'-0"



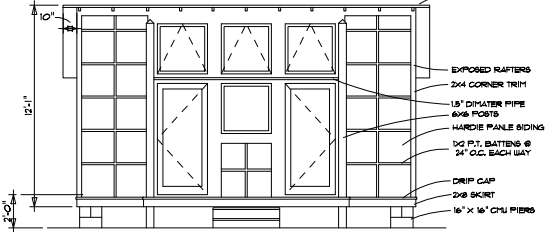
FLOOR PLAN
SCALE: 1/4" = 1'-0"



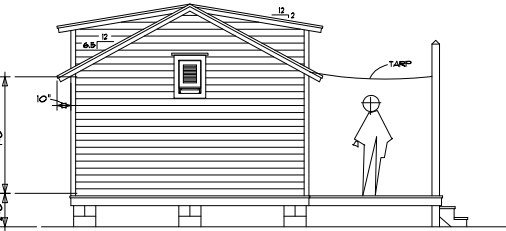
FLOOR PLAN - ACCESSIBLE
SCALE: 1/4" = 1'-0"



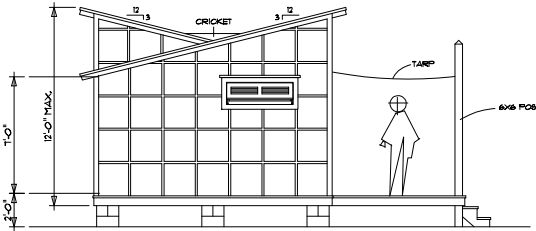
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



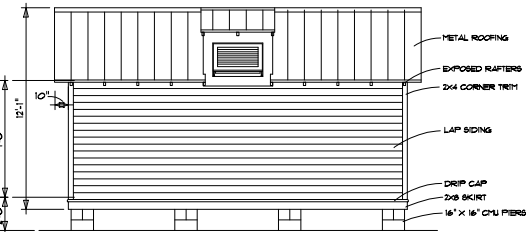
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



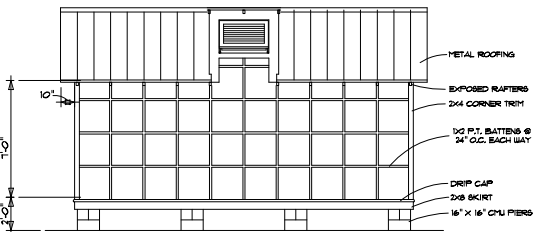
SIDE ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



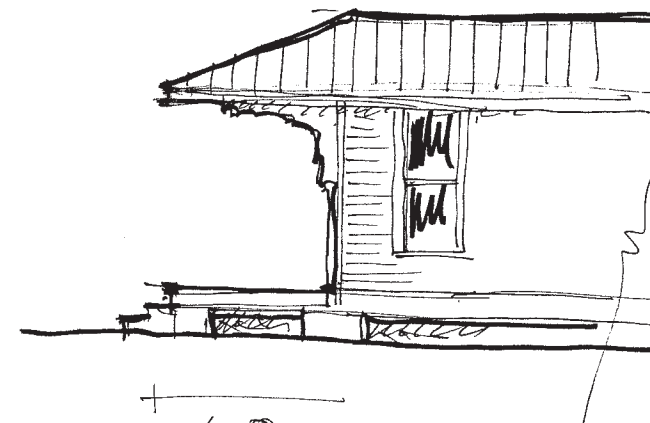
REAR ELEVATION
SCALE: 1/4" = 1'-0"

EMERGENCY WORKERS BUNKHOUSE

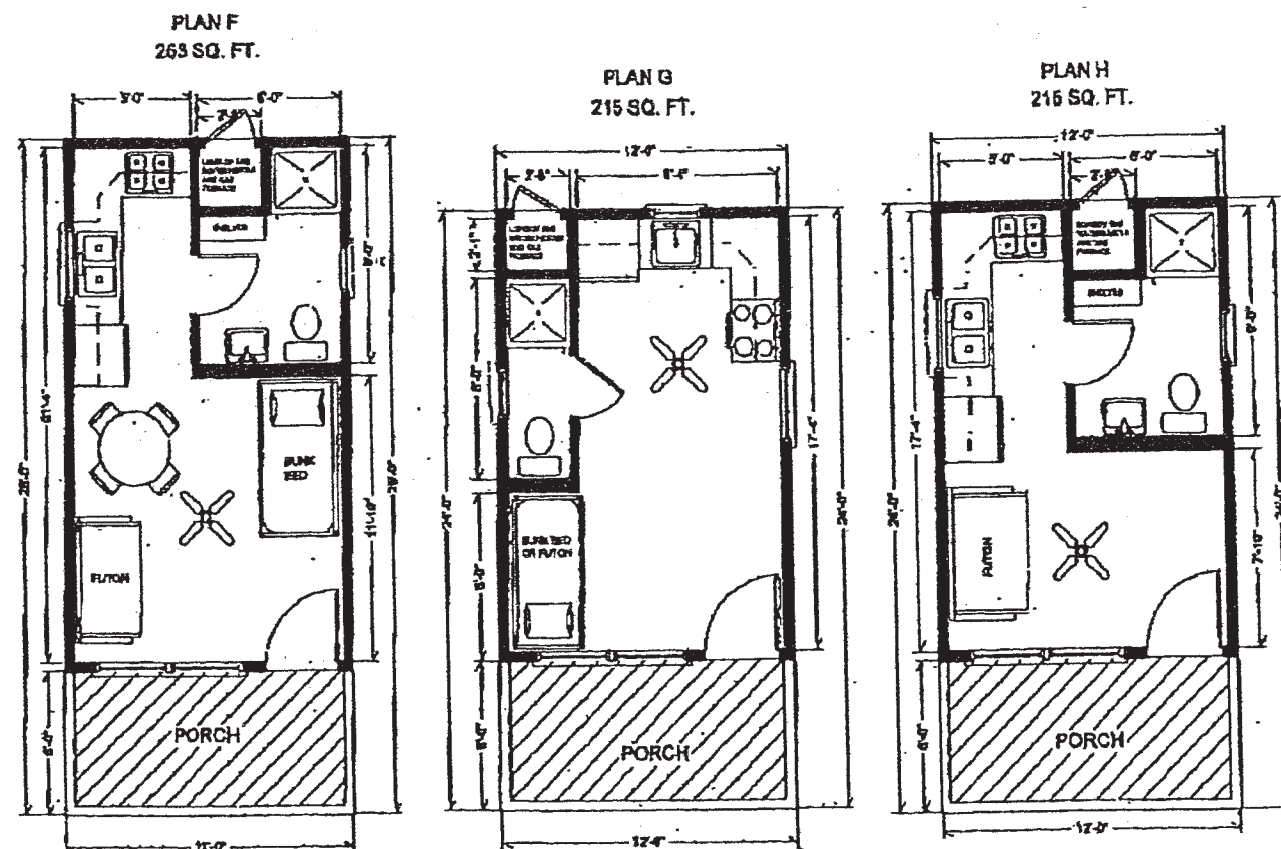
REVISIONS		
NO	DESCRIPTION	DATE

FLOOR PLANS
ELEVATIONS

DATE	DRAWN BY
10/10/05	JUSTISS
DRAWING	SHEET
A-1	1 OF 1



6-8
CANTILEVERED
BRACKET PORCH COVER



ALT ELEVATIONS
HABITAT 12' ERS
RJ Anderson



Emergency Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

12' wide elevations
Drawing Title

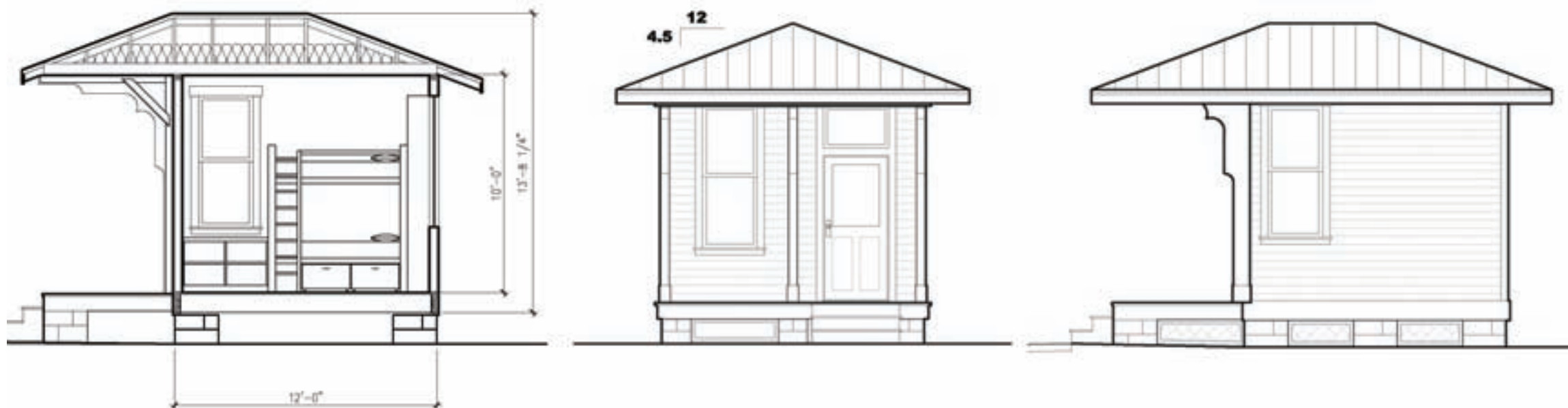
18 Oct 05
Date

R. John Anderson
Name of Contact for Additional Information

janderson@newurbanbuilders.com
E-mail address

HOUSING TYPE:
☒ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

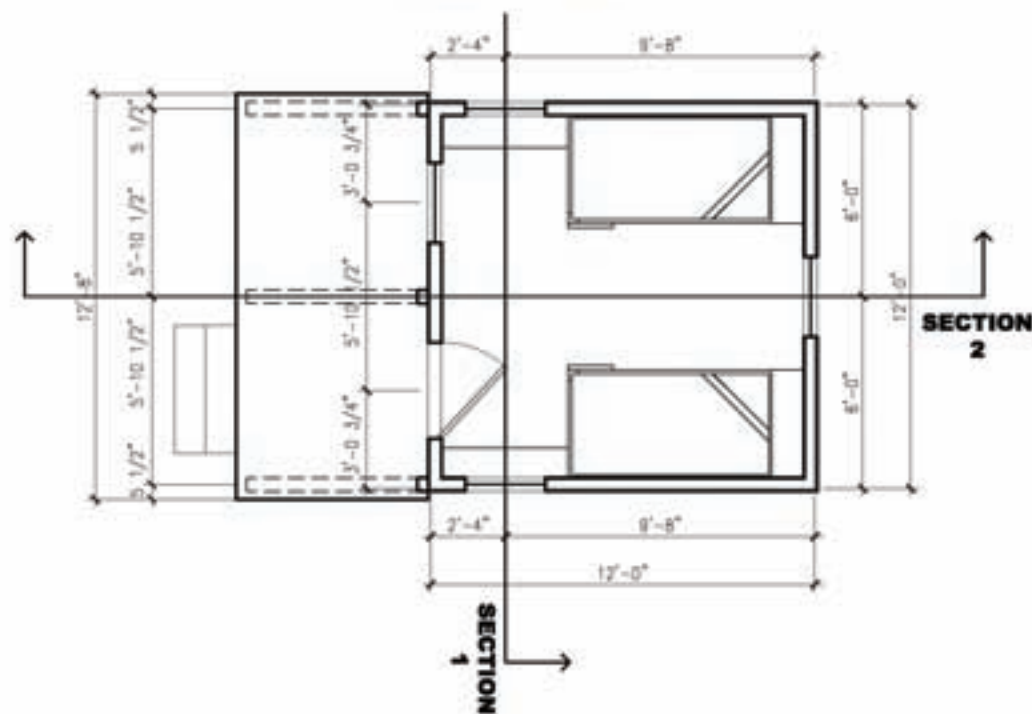
NARRATIVE: Three elevation studies for 12' wide Habitat for Humanity plans.



SECTION 2
SCALE: 1/4" = 1'-0"

FRONT ELEVATION
SCALE: 1/4" = 1'-0"

SIDE ELEVATION
SCALE: 1/4" = 1'-0"



STREET LEGAL COTTAGE-6 - FIRST FLOOR PLAN

1/8" = 1'-0"

SEPTEMBER 30, 2005

\\Nub-server\Company\PRODUCT DEVELOPMENT\SD\Street Legal Cottage\Street Cottage type1 plots.dwg



Emergency Housing
Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☐ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Emergency Bunk House

Drawing Title

07 Oct 05

Date

R. John Anderson

Name of Contact for Additional Information

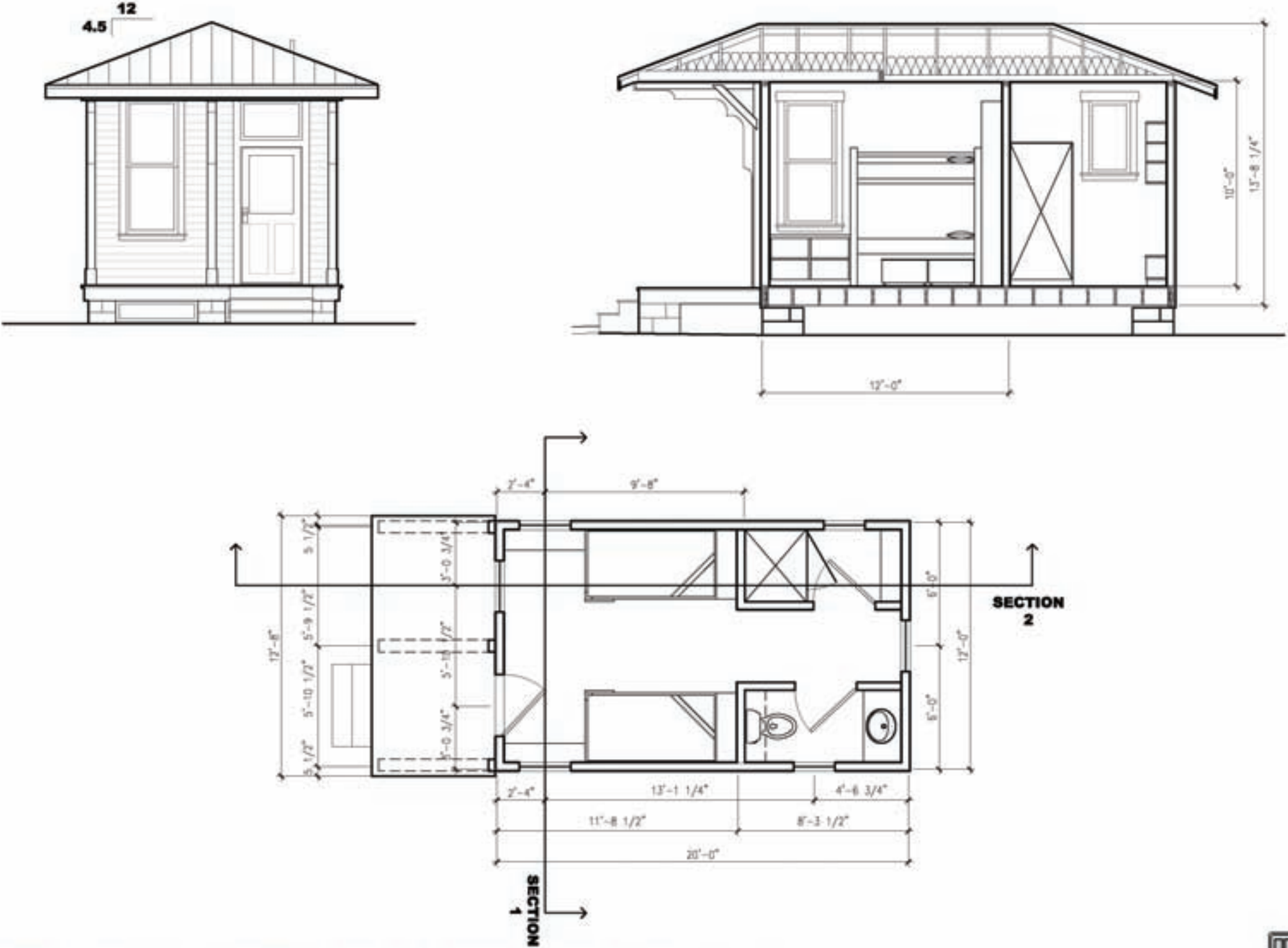
janderson@newurbanbuilders.com

E-mail address

HOUSING TYPE:

- ☒ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: 144 sq. ft. emergency bunk house. May also be used for worker housing. Sleeps four in bunks with built-in shelving. Cantilevered bracketed porch adds additional living space.



STREET LEGAL COTTAGE-7 - FIRST FLOOR PLAN

1/8" = 1'-0"

SEPTEMBER 30, 2005

\\Nub-server\Company\PRODUCT DEVELOPMENT\SD\Street Legal Cottage\Street Cottage type1 plots.dwg



Emergency Housing

Place or Topic

TIMING

- X Immediate
- X Medium Term
- Long Term

IMPLEMENTATION THROUGH

- X Design
- Policy
- Management

Emergency Worker House

Drawing Title

07 Oct 05

Date

R. John Anderson

Name of Contact for Additional Information

janderson@newurbanbuilders.com

E-mail address

HOUSING TYPE:

- X Temporary
- X Mobile
- X Modular
- X Panelized
- X Stock Plan
- Custom
- Commercial

NARRATIVE: 240 sq. ft. bunk house with bath and built-in shelves.. Sleeping accomodated with four bunks. Cantilevered bracketed porch adds additional living space.



Emergency Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☐ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Emergency Bunk House

Drawing Title

07 Oct 05

Date

R. John Anderson

Name of Contact for Additional Information

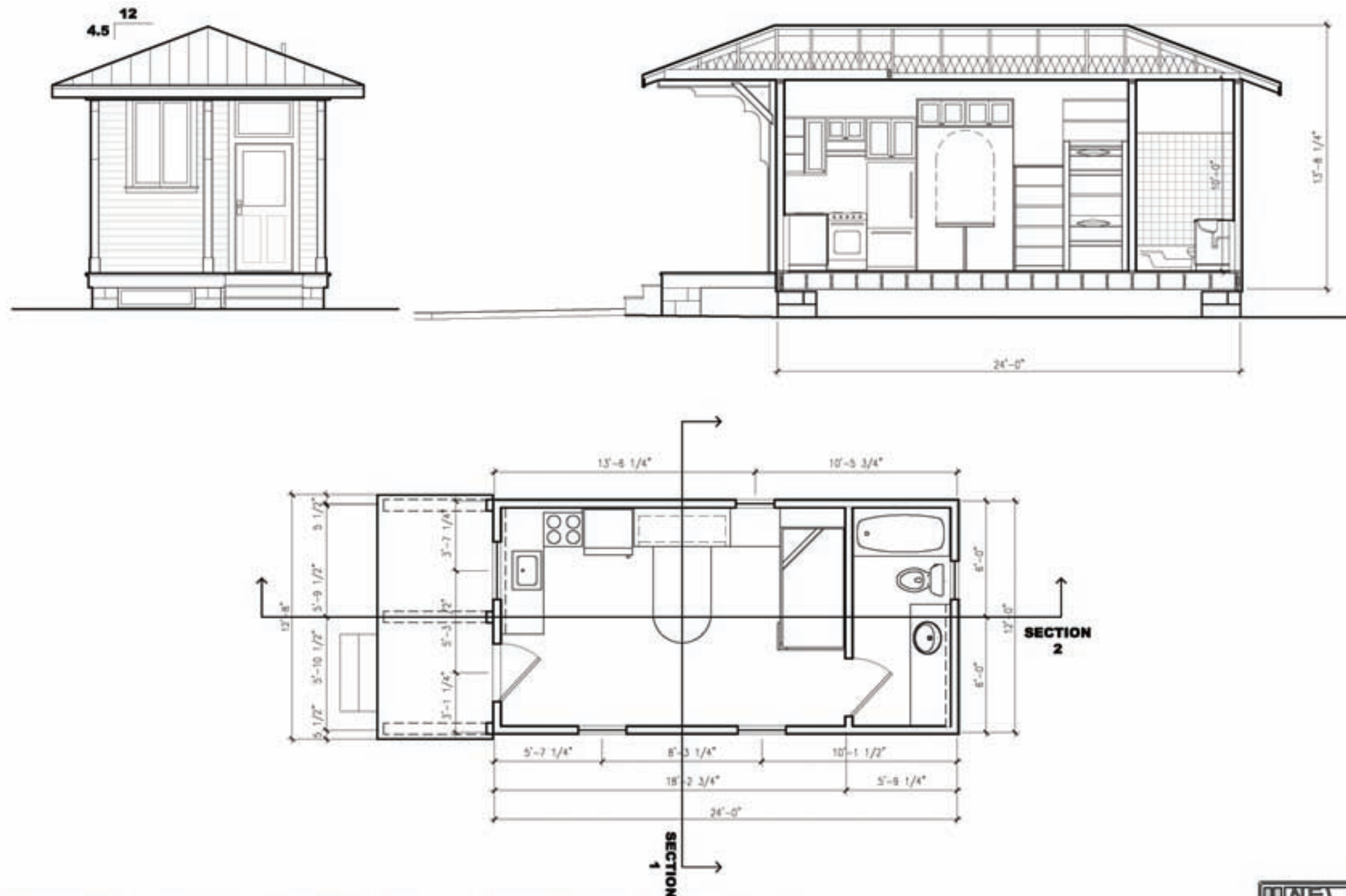
janderson@newurbanbuilders.com

E-mail address

HOUSING TYPE:

- ☒ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: 288 sq. ft. studio cottage with full bath. Sleeping accommodated with two bunks and full size Murphy bed/dining table combination. Cantilevered bracketed porch adds additional living space.

**STREET LEGAL COTTAGE-8 - FIRST FLOOR PLAN**

1/8" = 1'-0"

SEPTEMBER 30, 2005

\\Nub-server\Company\PRODUCT DEVELOPMENT\SD\Street Legal Cottage\Street Cottage type1 plots.dwg





Emergency Housing
Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Moveable Emergency House

Drawing Title

03 Oct 05

Date

R. John Anderson

Name of Contact for Additional Information

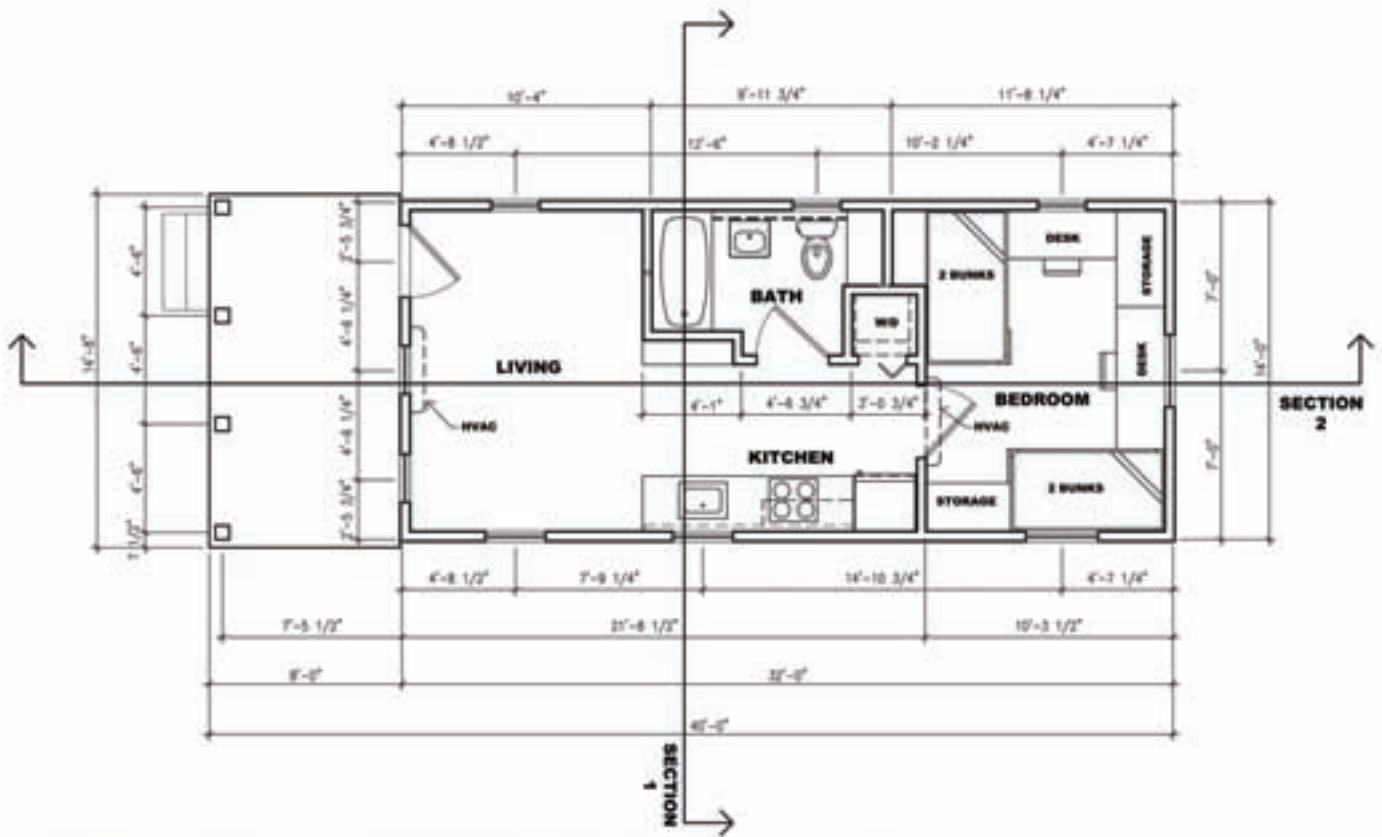
janderson@newurbanbuilders.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☒ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE: Three elevation studies for 448 sq. ft. emergency house. This house is designed to be transportable, and could become a guest cottage for long-term use. It has a galley kitchen and one bedroom with four bunks.



STREET LEGAL COTTAGE-1 - FIRST FLOOR PLAN

1/8" = 1'-0"

SEPTEMBER 30, 2005

\\Nub-server\Company\PRODUCT DEVELOPMENT\SD\Street Legal Cottage\Street Cottage type1 plots.dwg





Emergency Housing

Place or Topic

TIMING

☒ Immediate

☒ Medium Term

☒ Long Term

IMPLEMENTATION THROUGH

☒ Design

☐ Policy

☐ Management

Moveable Emergency House

Drawing Title

03 Oct 05

Date

R. John Anderson

Name of Contact for Additional Information

janderson@newurbanbuilders.com

E-mail address

HOUSING TYPE:

☐ Temporary

☒ Mobile

☒ Modular

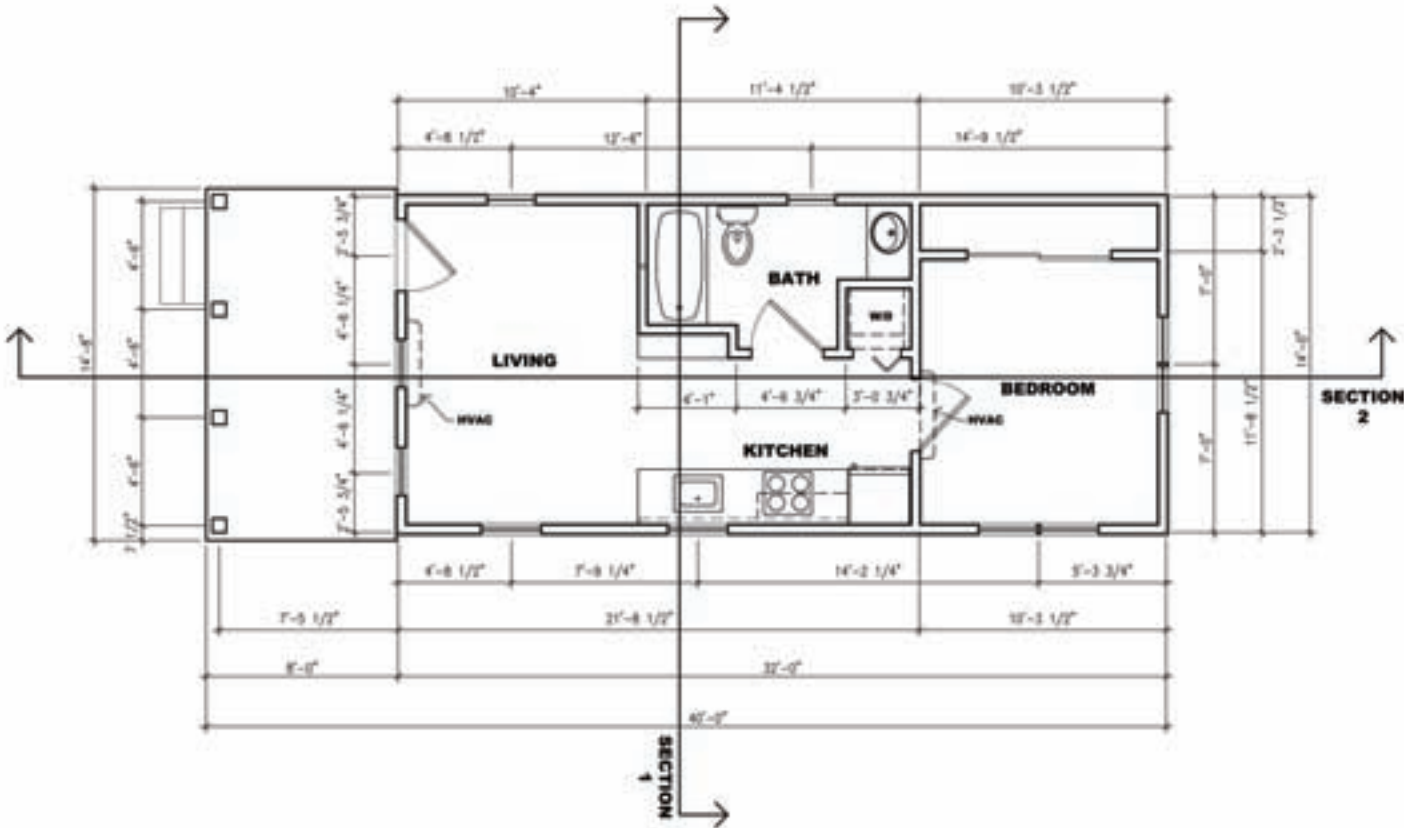
☒ Panelized

☒ Stock Plan

☐ Custom

☐ Commercial

NARRATIVE: This 448 sq. ft. house is designed to be transportable, and may become a guest cottage for long-term use. This cottage has a private bedroom with room for a queen bed and a 10' closet.



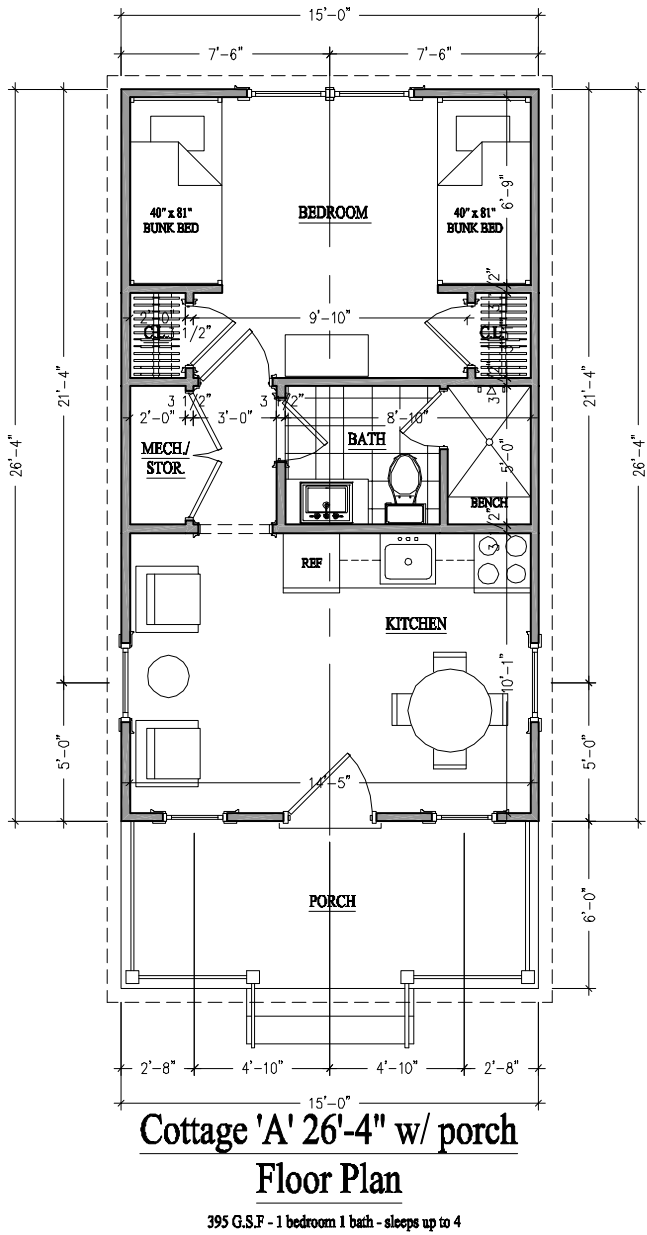
STREET LEGAL COTTAGE-2 - FIRST FLOOR PLAN

1/8" = 1'-0"

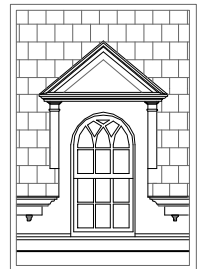
SEPTEMBER 30, 2005

\\Nub-server\Company\PRODUCT DEVELOPMENT\SD\Street Legal Cottage\Street Cottage type1 plots.dwg





ARCHITECTS



TOWN PLANNERS

REVISIONS:
Review:

PERMIT SET:
BID SET:
CONTRACT SET:

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ADL III
ARCHITECTURE P.C.

24 Woodbine Ave. · Suite 1 · Norwalk, New York 11768
P: 631.754.4450 Fx: 631.754.4452 WWW: ADL3.COM

PROJECT: Model T Cottages

TITLE: Floor Plan & Elevation

DWG #:



Emergency Housing
Place or Topic

- TIMING
- ☒ Immediate
 - ☒ Medium Term
 - ☒ Long Term

- IMPLEMENTATION THROUGH
- ☒ Design
 - ☐ Policy
 - ☐ Management

395 sq. ft. Cottage
Drawing Title

03 Oct 05
Date

ADL III
Name of Contact for Additional Information

alex@adl3.com
E-mail address

- HOUSING TYPE:
- ☐ Temporary
 - ☒ Mobile
 - ☒ Modular
 - ☒ Panelized
 - ☒ Stock Plan
 - ☐ Custom
 - ☐ Commercial

NARRATIVE: This 395 sq. ft. cottage is designed to be transportable, and may become a guest cottage for long-term use. This cottage has a bunk room that sleeps four, full bath, and open living area.

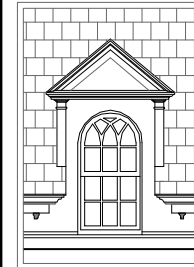


Cottage 'B' 40'-0"
W/ PORCH - 4" CLAPBOARD

Cottage 'B' 40'-0" w/ porch
Floor Plan

560 G.S.F - 2 bedroom 1 bath - sleeps up to 6

ARCHITECTS



TOWN PLANNERS

REVISIONS:

Review:

PERMIT SET:**BID SET:**

CONTRACT SET:

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ADL III
ARCHITECTURE P.C.

24 Woodbine Ave · Suite 1 · Northport New York 11768
P. 631.754.4450 Fx. 631.754.4452 www.ADL3.com

PROJECT:
"Model T" Cottages

TITLE: Floor Plan & Elevation

DWG#:

NARRATIVE: This 560 sq. ft., two bedroom cottage is designed to be transportable, and may become a guest cottage or affordable housing for long-term use. Configured with bunks, it sleeps six, or the large bedroom may have a full-sized bed to sleep four.



Emergency Housing

Place or Topic

TIMING

X Immediate
X Medium Term
X Long Term

IMPLEMENTATION THROUGH

☒ Design
☐ Policy
☐ Management

560 sq. ft. Cottage

Drawing Title

03 Oct 05

Date _____

ADL III

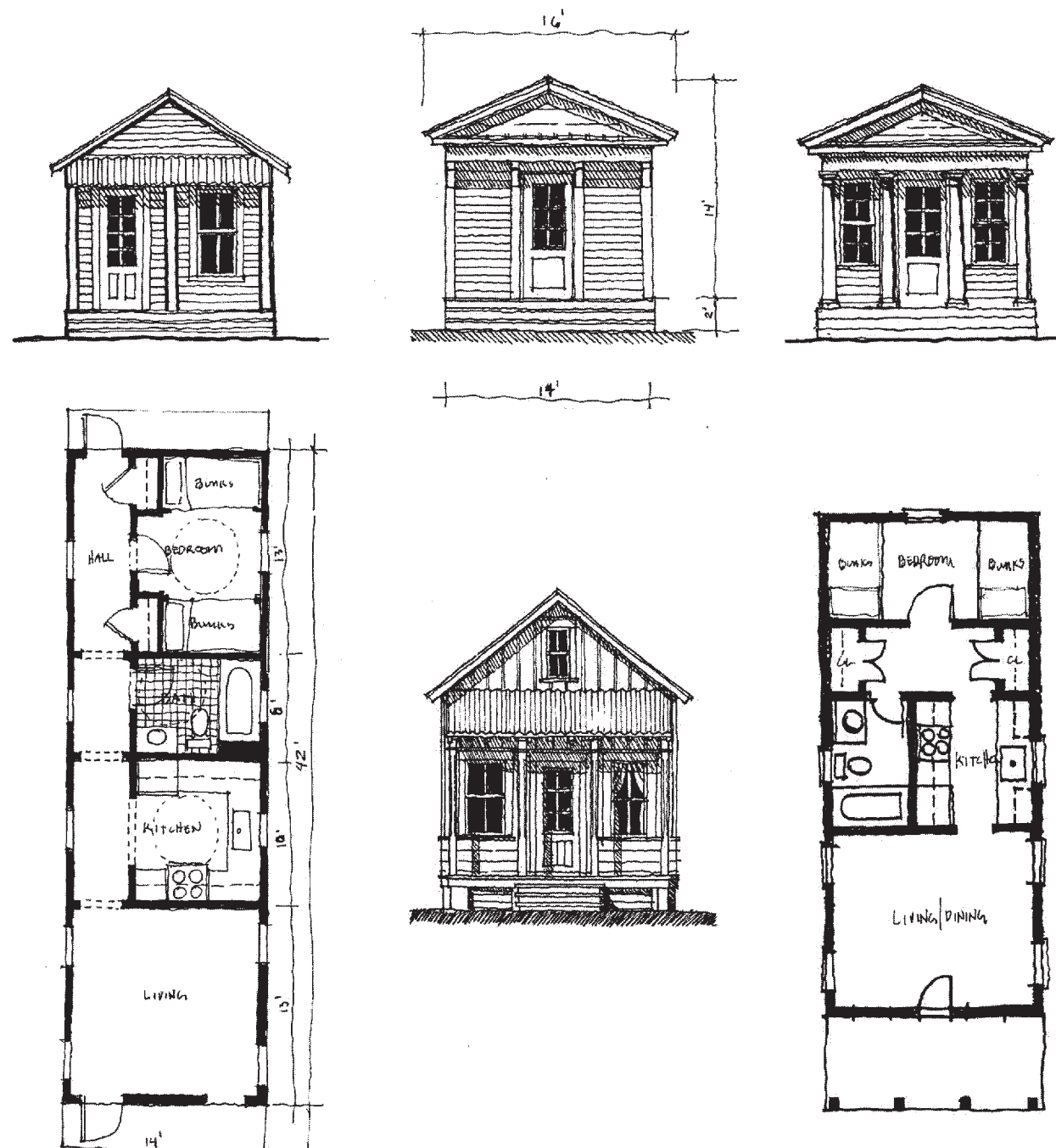
Name of Contact for Additional Information

alex@adl3.com

E-mail address

HOUSING TYPE:

☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial



Hurricane Katrina
Shotgun House Option



GEOFFREY MOUEN



Emergency Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Shotgun House Options

Drawing Title

04 Oct 05

Date

Geoffrey Mouen

Name of Contact for Additional Information

gmouen@mac.com

E-mail address

HOUSING TYPE:

- ☒ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: Two plans and four elevations for emergency housing that segue to guest cottages or long-term affordable houses. They are designed to be transportable, but may be site built as well.



Emergency Housing

Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Single-Barrel Model T

Drawing Title

05 Oct 05

Date

Stephen A. Mouzon

Name of Contact for Additional Information

steve@newurbanguild.com

E-mail address

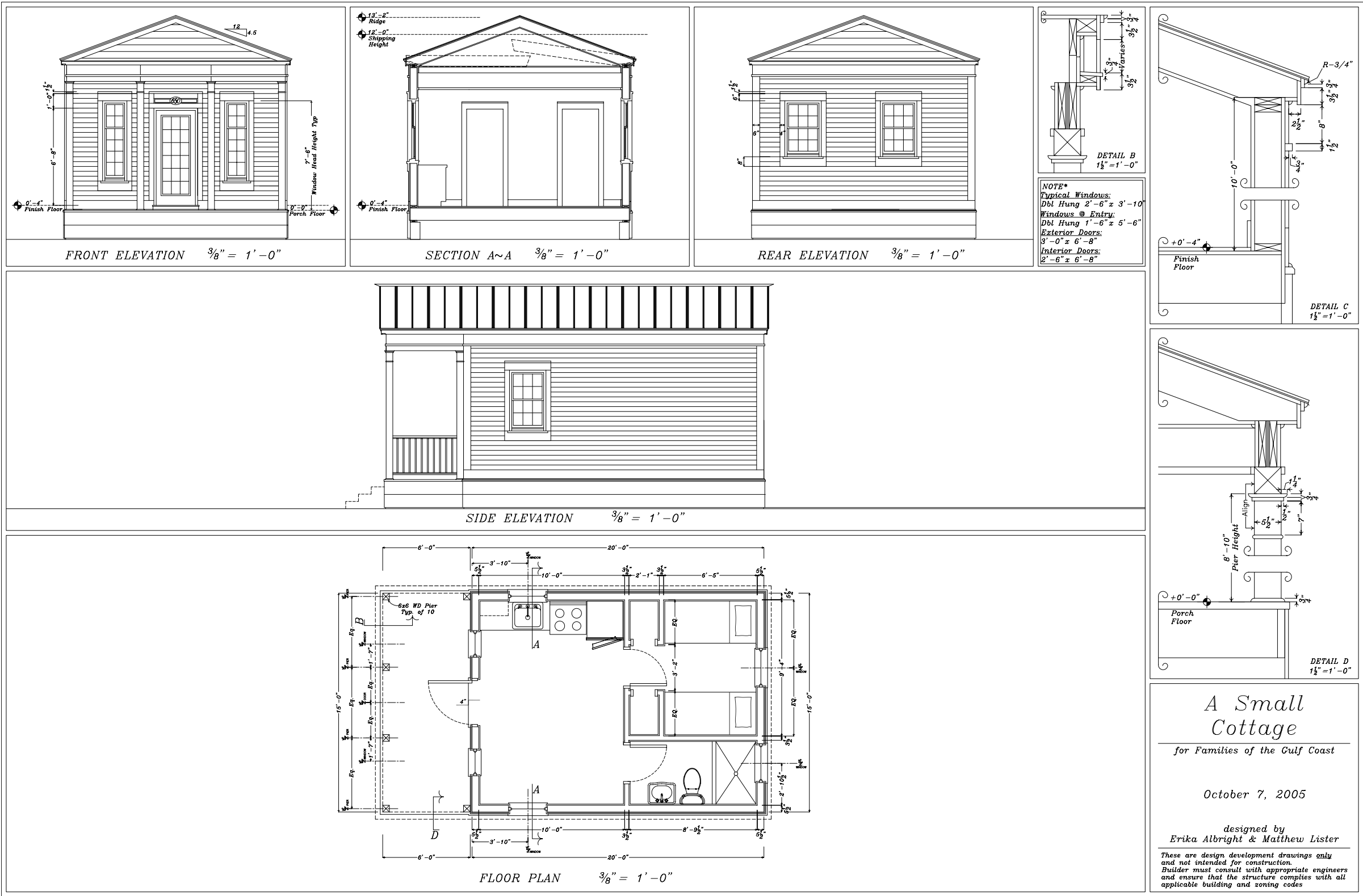
HOUSING TYPE:

- ☐ Temporary
- ☒ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE: Single-wide emergency housing inspired by the southern Mississippi shotgun. This house may be manufactured, modular, or panelized. It sleeps four with a private master plus a bunk room. The open living area has natural light from three sides and is very flexible. Front and back porches add living area.



SINGLE-BARREL MODEL T
734 SQUARE FEET
STEPHEN A. MOUZON, AIA CNU LEED
1253 WASHINGTON AVENUE, SUITE 222, MIAMI BEACH, FLORIDA 33139 (786)276-6000 HTTP://WWW.MOUZON.COM
LICENSED TO PRACTICE ARCHITECTURE IN FLORIDA & ALABAMA. RESIDENTIAL DESIGN CONSULTANT IN OTHER STATES.



Emergency Housing
Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

A Small Cottage

Drawing Title

08 Oct 05

Date

Erika Albright & Matthew Lister

Name of Contact for Additional Information

matthew@flmarchitects.com

E-mail address

HOUSING TYPE:

- ☒ Temporary
- ☒ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE: This elegant 300 sq. ft. cottage sleeps four in bunks and has a galley kitchen and great room. It could easily become a guest house for long term use.

Emergency Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Katrina Model T

Drawing Title

06 Oct 05

Date

Carl Jahnes

Name of Contact for Additional Information

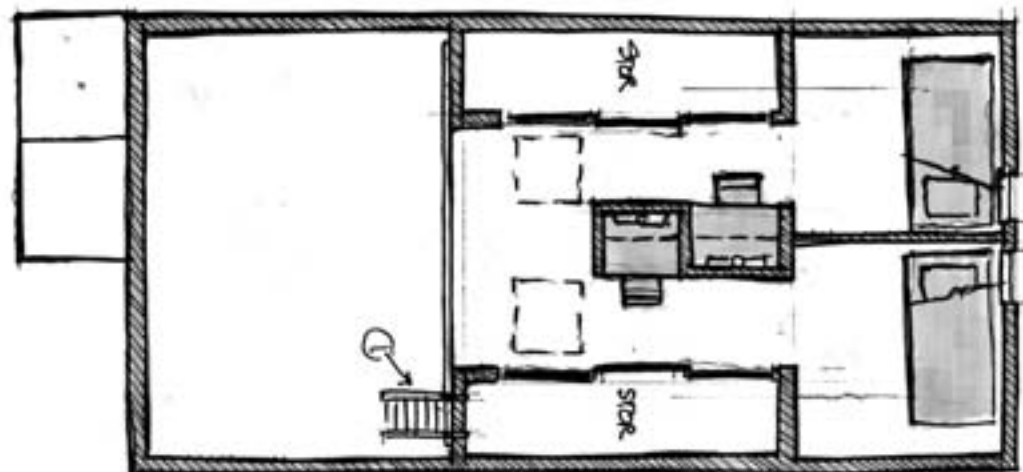
carlj@hrjl.net

E-mail address

HOUSING TYPE:

- ☒ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

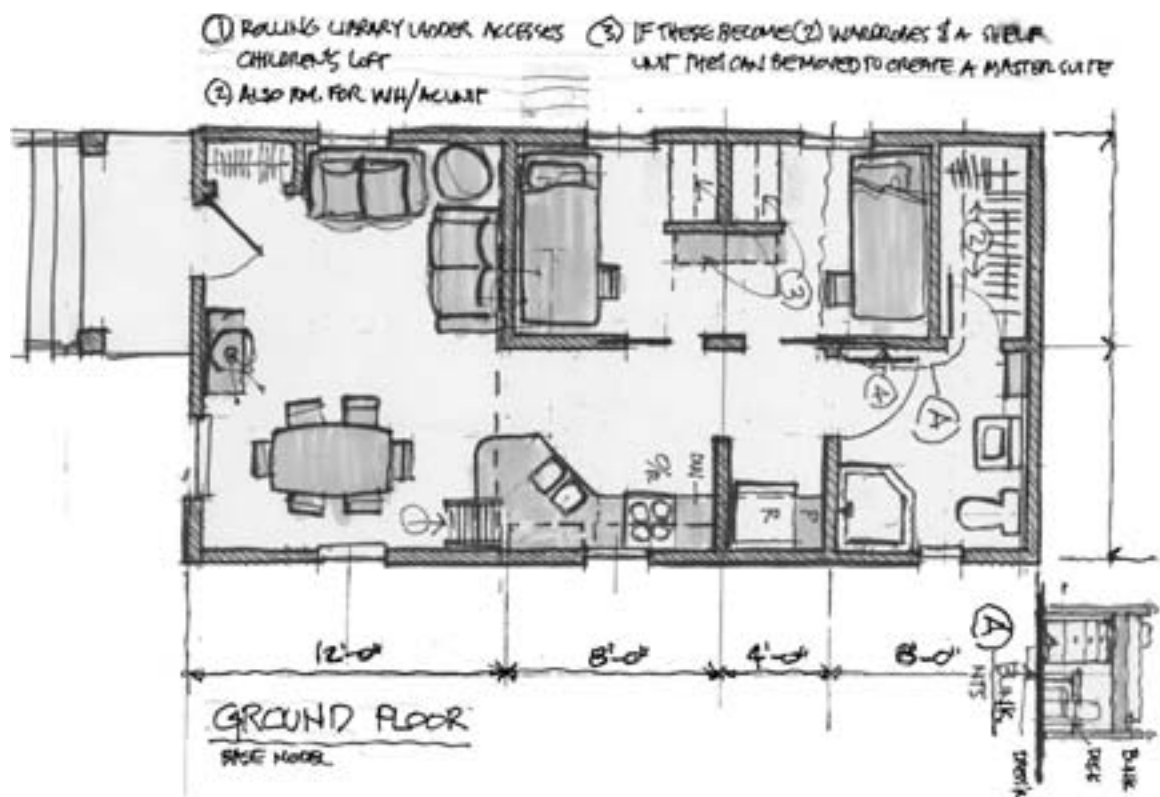
NARRATIVE: 832 sq. ft. cottage with loft has two bunk rooms and a private bedroom with queen bed or four bunk rooms that can sleep eight. The double height living space is very light, and it has a full bath and complete kitchen.



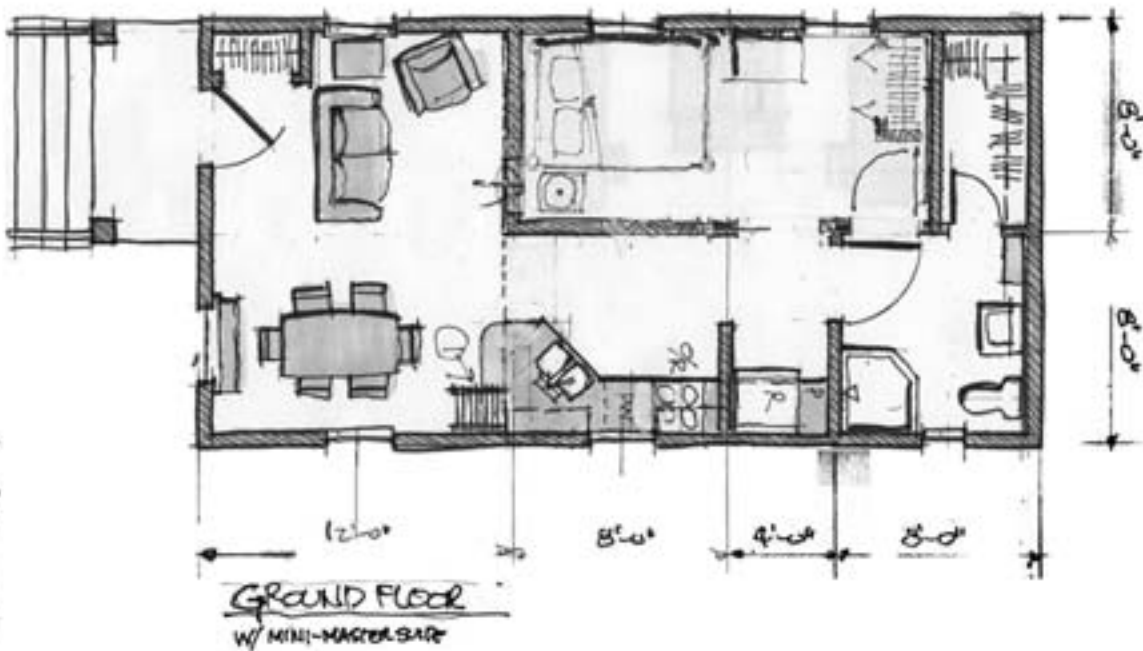
LOFT



FRONT



GROUND FLOOR
BASE MODEL



GROUND FLOOR
W/ MINI-MASTER BED

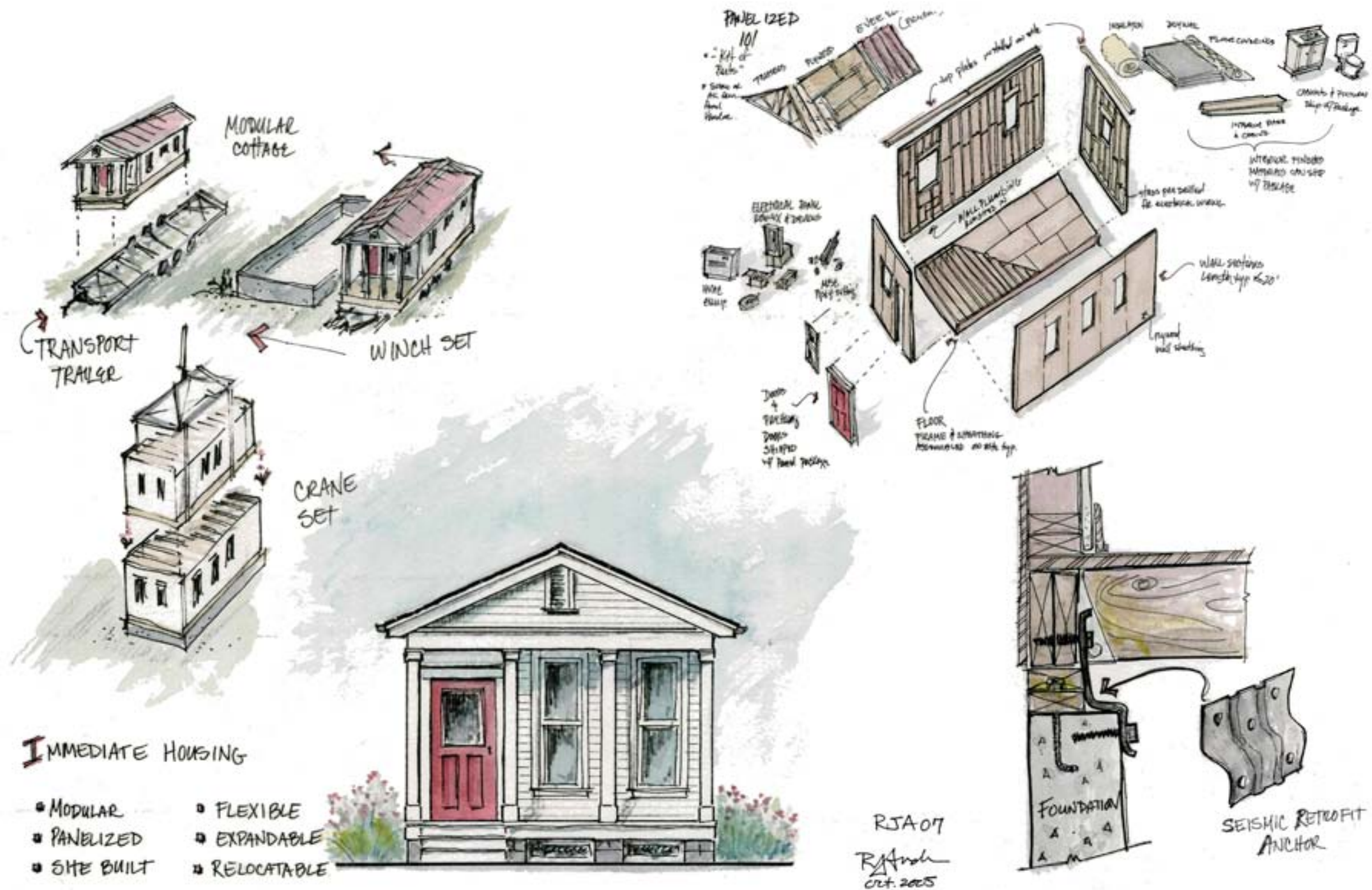
Katrina Model T Jahnes Edition



CHAPTER 2

★AFFORDABLE HOUSING★





Affordable Housing

Place or Topic

TIMING

- X Immediate
X Medium Term
X Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Immediate Housing Technology

Drawing Title

18 Oct 05

Date _____

R. John Anderson

Name of Contact for Additional Information

janderson@newurbanbuilders.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE: This illustrates the schematics and technology of modular and panelized construction. These technologies are critical to speedy, affordable housing.



Affordable Housing
Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Home Evolution
Drawing Title

18 Oct 05
Date

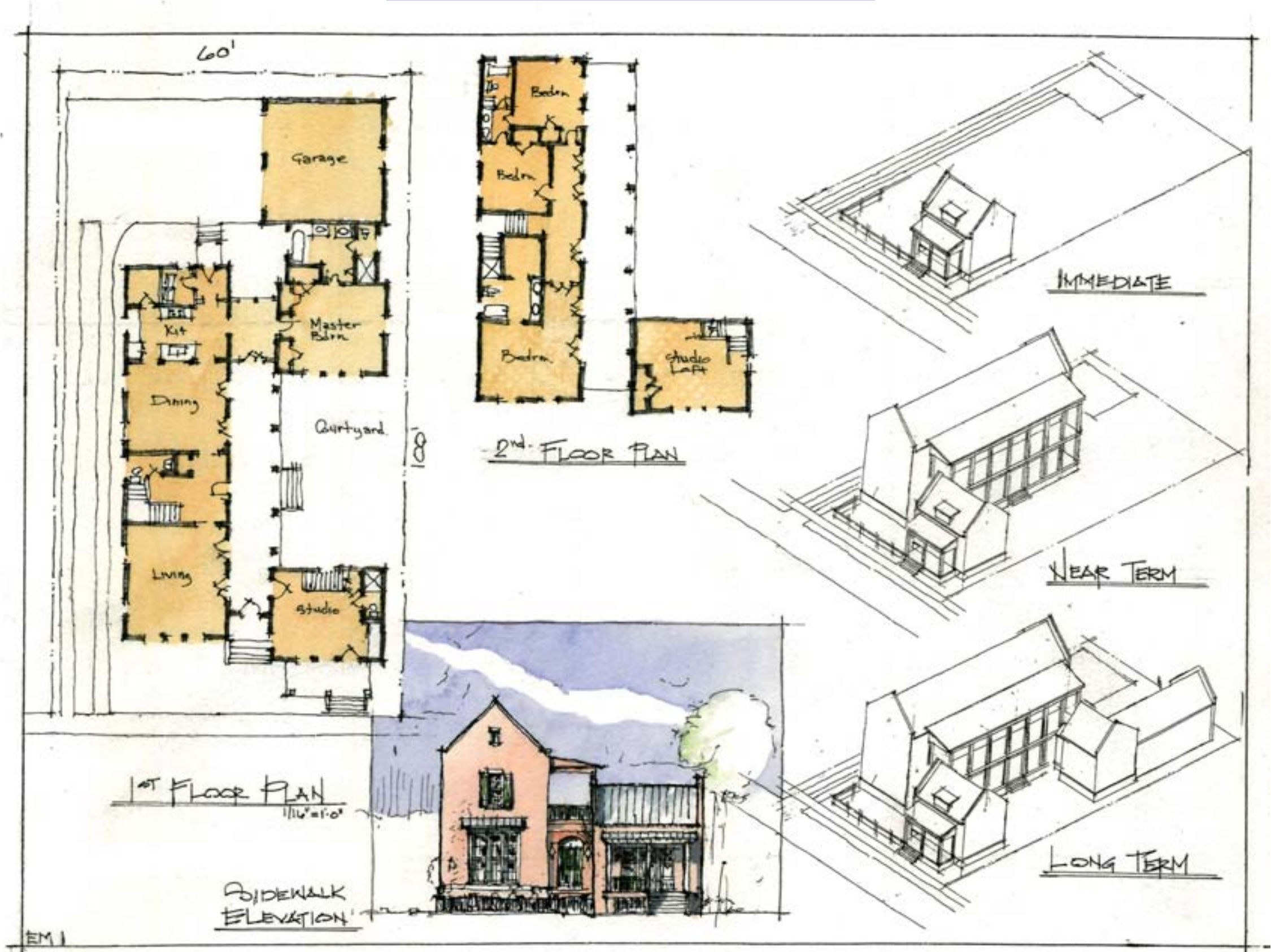
R. Eric Moser
Name of Contact for Additional Information

ericmoser@moserdesigngroup.com
E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☒ Custom
- ☐ Commercial

NARRATIVE: A study of how to engage temporary housing into permanent solutions.





Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Shotgun Stilt House “Greened Up”

Drawing Title

18 Oct 05

Date

John Anderson

Name of Contact for Additional Information

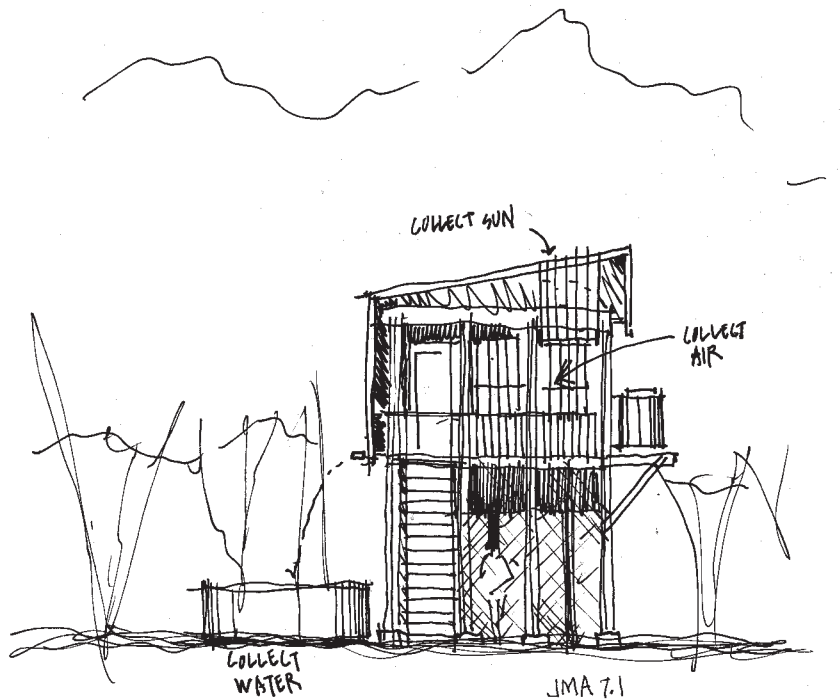
janderson@studioedr.com

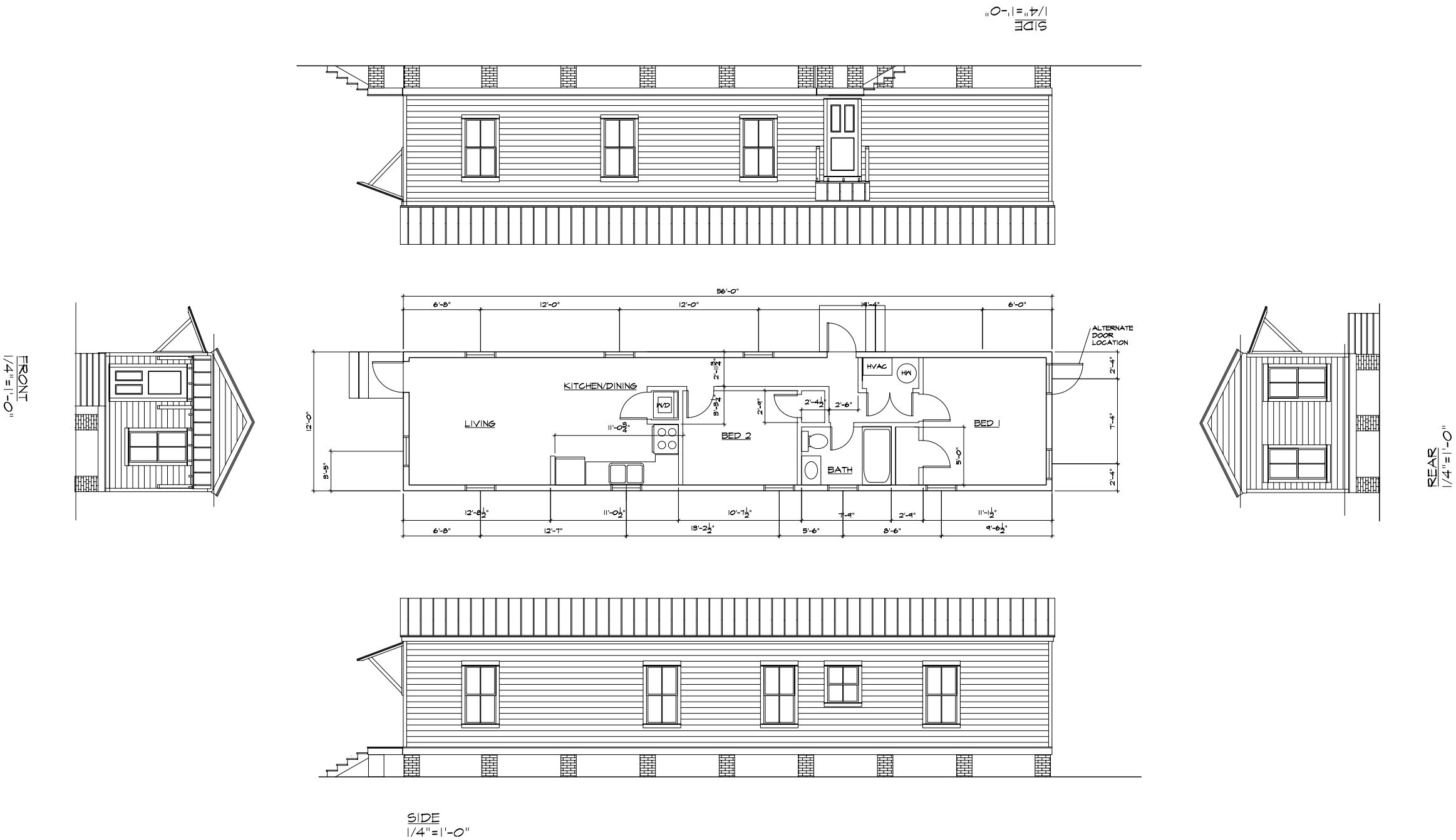
E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE: Shotgun floor plan prototype stretched up into the air to meet FEMA requirements. Environmental features drive form and include solar collecting roof, single roof pitch draining to cistern, and large overhangs. Affordability is obtained through energy efficiency, and simplicity of massing and materials.





Affordable Housing
Place or Topic

- TIMING
- ☒ Immediate
 - ☒ Medium Term
 - ☒ Long Term

- IMPLEMENTATION THROUGH
- ☒ Design
 - ☐ Policy
 - ☐ Management

12' x 56' Shotgun
Drawing Title

06 Oct 05
Date

Frank Greene
Name of Contact for Additional Information

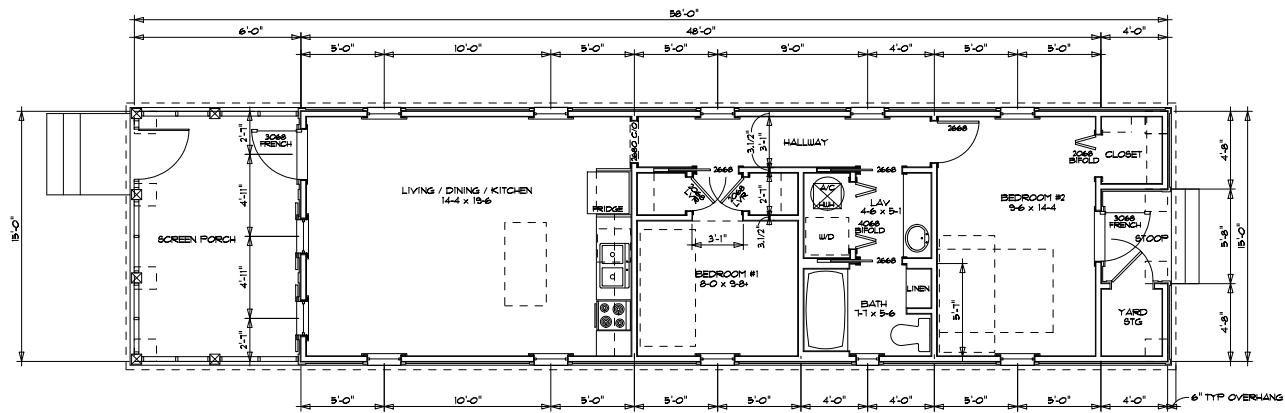
fgreene@lrk.com
E-mail address

- HOUSING TYPE:
- ☐ Temporary
 - ☒ Mobile
 - ☒ Modular
 - ☒ Panelized
 - ☒ Stock Plan
 - ☐ Custom
 - ☐ Commercial

NARRATIVE: This 672 sq. ft. 2 bedroom cottage may be manufactured, modular or panelized. It is amazingly liveable for such a small square footage, and is in ideal solution to affordable housing.

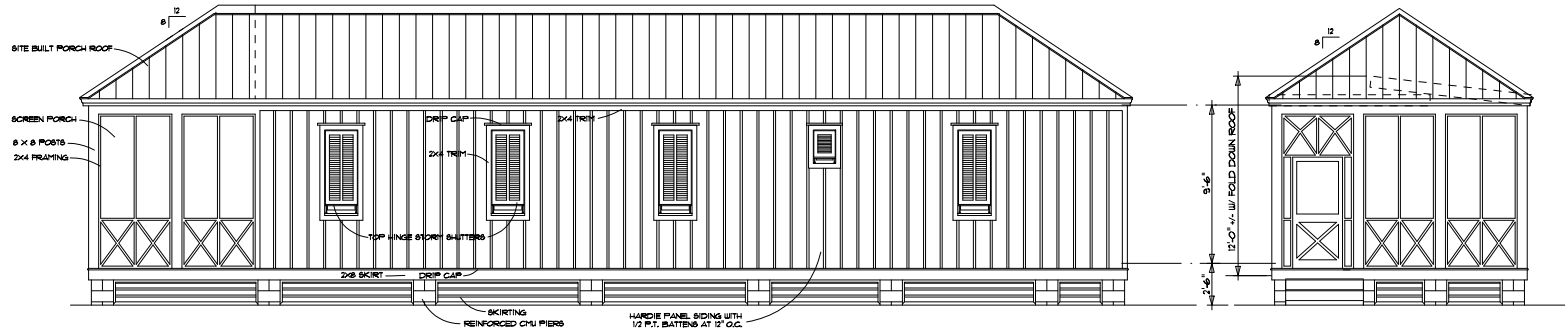
Prototype "B"
Contemporary Shotgun Plan
Hurricane Reconstruction Resource
05.M0010.00 • September 30, 2005
©2005 Looney Ricks Kiss Architects, Inc. All Rights Reserved.

 31 Main Street ,P.O. Box 611220
Rosemary beach, FL 32461
Telephone 850 231 6833
Fax 850 231 6838
Internet www.lrk.com
**Memphis • Nashville • Princeton
Celebration • Rosemary Beach**
Architecture Planning Interiors Research



FLOOR PLAN

SCALE: 1/4" = 1'-0"

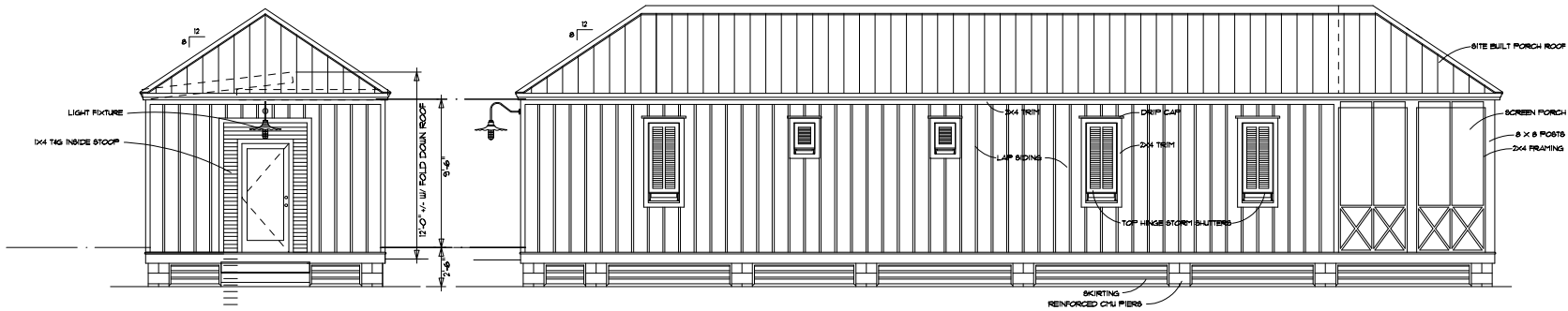


RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

GARY WILLIAM
JUSTISS
DESIGNER

208 MAIN STREET
AT BLOUNT SPRINGS
HAYDEN, ALABAMA
35079
208-647-4044
AL# 2402 FL# AR 0015088

KATRINA COTTAGE

REVISIONS		
NO	DESCRIPTION	DATE

FLOOR PLANS
WINDOW & DOOR SCHEDULES

DATE	DRAWN BY
7/16/01	JUSTISS
DRAWING	JOB NUMBER
A-1	1 OF 1

MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU
CONGRESS FOR THE
NEW URBANISM

Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Katrina Cottage A

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

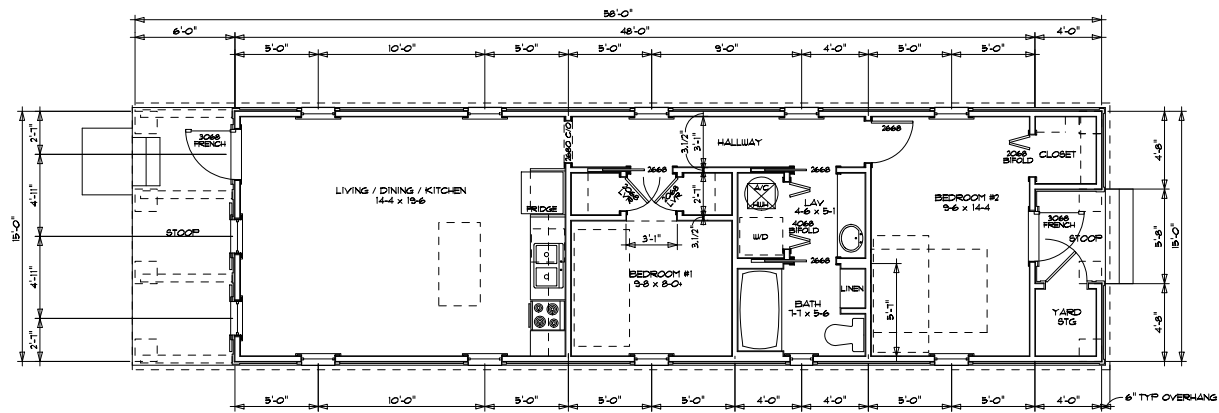
gwjustiss@aol.com

E-mail address

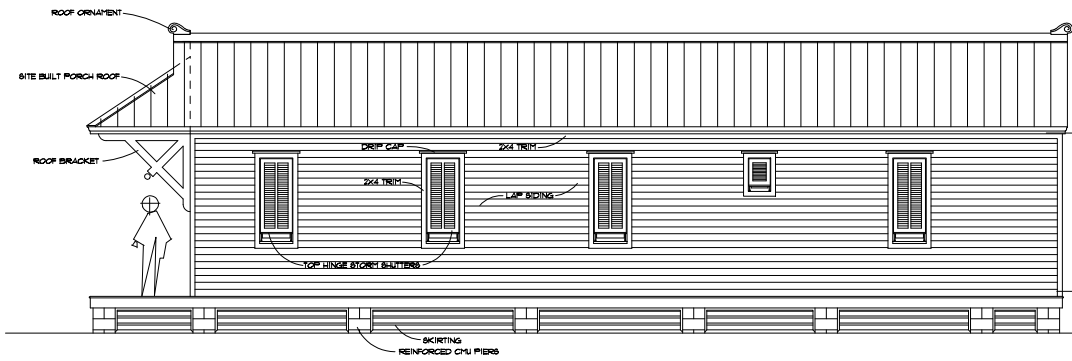
HOUSING TYPE:

- ☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This 720 sq. ft. 2 bedroom cottage may be manufactured, modular or panelized. It has a generous screened front porch that extends the living area.



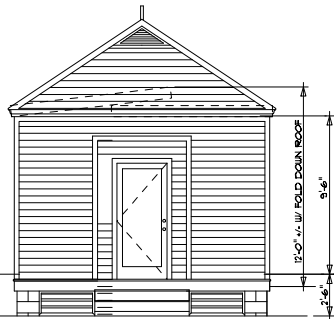
FLOOR PLAN
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

GARY WILLIAM
JUSTISS
DESIGNER

208 MAIN STREET
AT BLOUNT SPRING
HAYDEN, ALABAMA
35079
205-647-4044
AL# 2402 FL# AR 0015088

KATRINA COTTAGE

REVISIONS		
NO	DESCRIPTION	DATE

FLOOR PLANS
WINDOW & DOOR SCHEDULES

DATE	DRAWN BY
7/16/01	JUSTISS
DRAWING	JOB NUMBER
A-1	OF 1

MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL
CNU CONVENOR FOR THE
NEW URBANISM

Affordable Housing
Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Katrina Cottage B

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

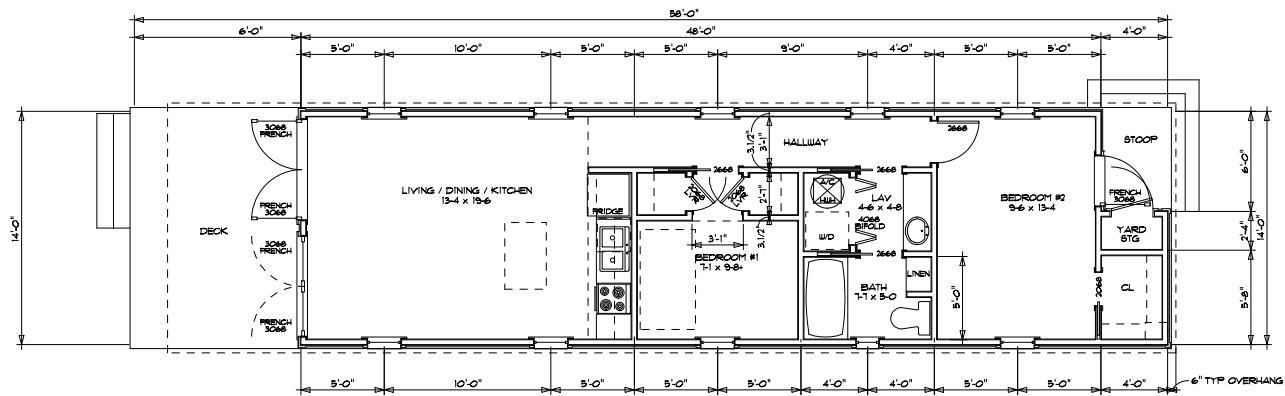
gwjustiss@aol.com

E-mail address

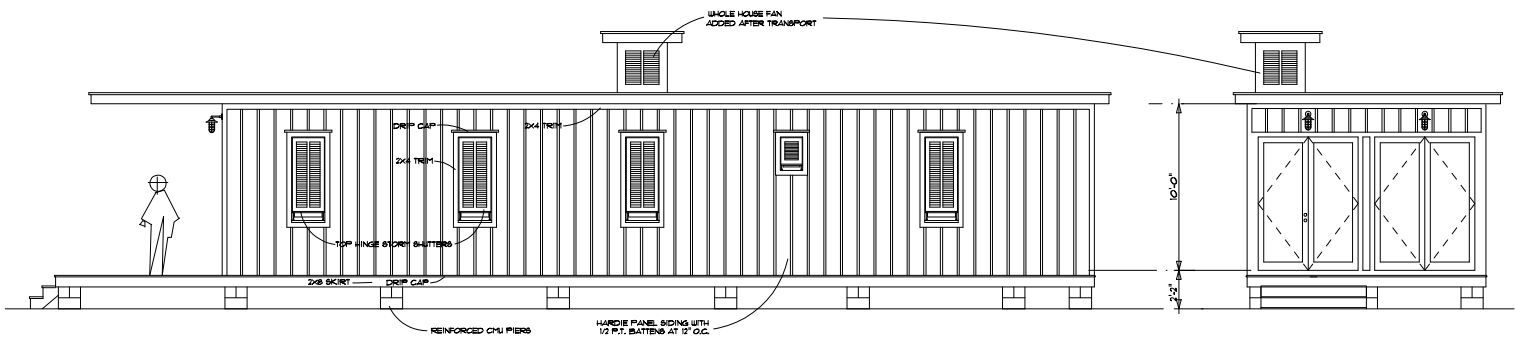
HOUSING TYPE:

- ☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This is an alternate exterior for the previous cottage. The cantilevered bracketed porch is inspired by the coastal shotgun houses.

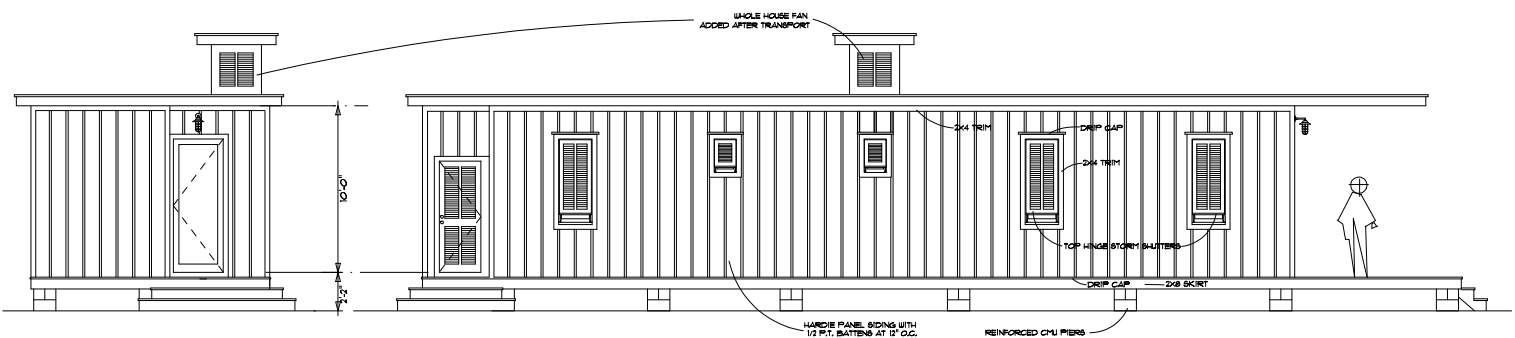


FLOOR PLAN
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

GARY WILLIAM
JUSTISS
DESIGNER

208 MAIN STREET
AT BLOUNT SPRING
HAYDEN, ALABAMA
35079
205-647-4044
AL# 2402 FL# AR 0015088

KATRINA COTTAGE - VERSION 30

REVISIONS		
NO	DESCRIPTION	DATE

FLOOR PLANS
ELEVATIONS

DATE	DRAWN BY
10/10/05	JUSTISS
DRAWING	SHEET
A-1	1 OF 1

MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU
CONVENOR FOR THE
NEW URBANISM

Affordable Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Katrina Cottage B

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

gwjustiss@aol.com

E-mail address

HOUSING TYPE:
☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This is an alternate modernist exterior for the previous cottage.



Affordable Housing
Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Gulf Coast Relief Housing

Drawing Title

06 Oct 05

Date

9th St. Workshop

Name of Contact for Additional Information

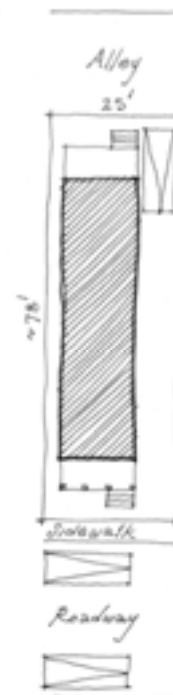
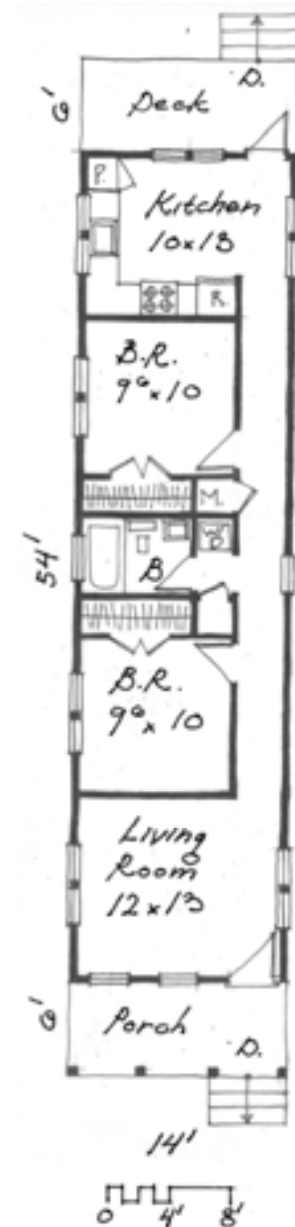
info@9thstworkshop.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

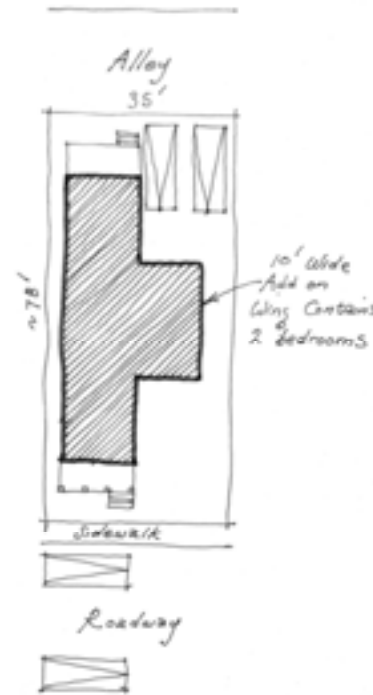
NARRATIVE: This 756 sq. ft. 2 bedroom cottage may be manufactured, modular or panelized. It is inspired by the New Orleans Sidehall, and features a generous living room, and may be combined as a duplex. Three options are shown for expansion as well as how the cottages could combine to form a streetscape.



SINGLE



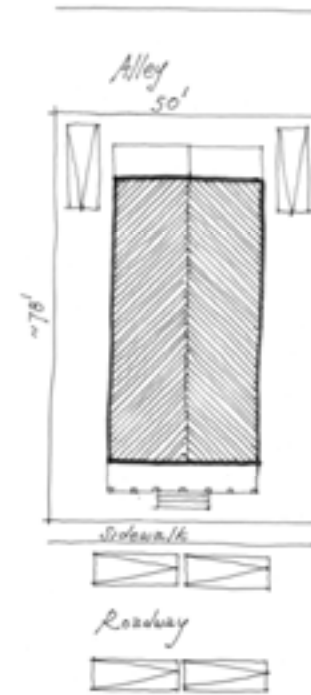
SINGLE



SINGLE & WING



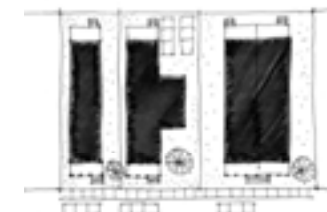
SINGLE & WING



DUPLEX



DUPLEX



STREET

GULF COAST REPAIR RELIEF HOUSING

CHRIS LINVILL & CHRIS ANDREWS ARCHITECTS
9TH ST. WORKSHOP 2531 9TH ST. BERKELEY CA Tel: 510.549.1237
www.9thstworkshop.com, info@9thstworkshop.com

Affordable Housing
Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Kit House

Drawing Title

18 Oct 05

Date

R. Eric Moser

Name of Contact for Additional Information

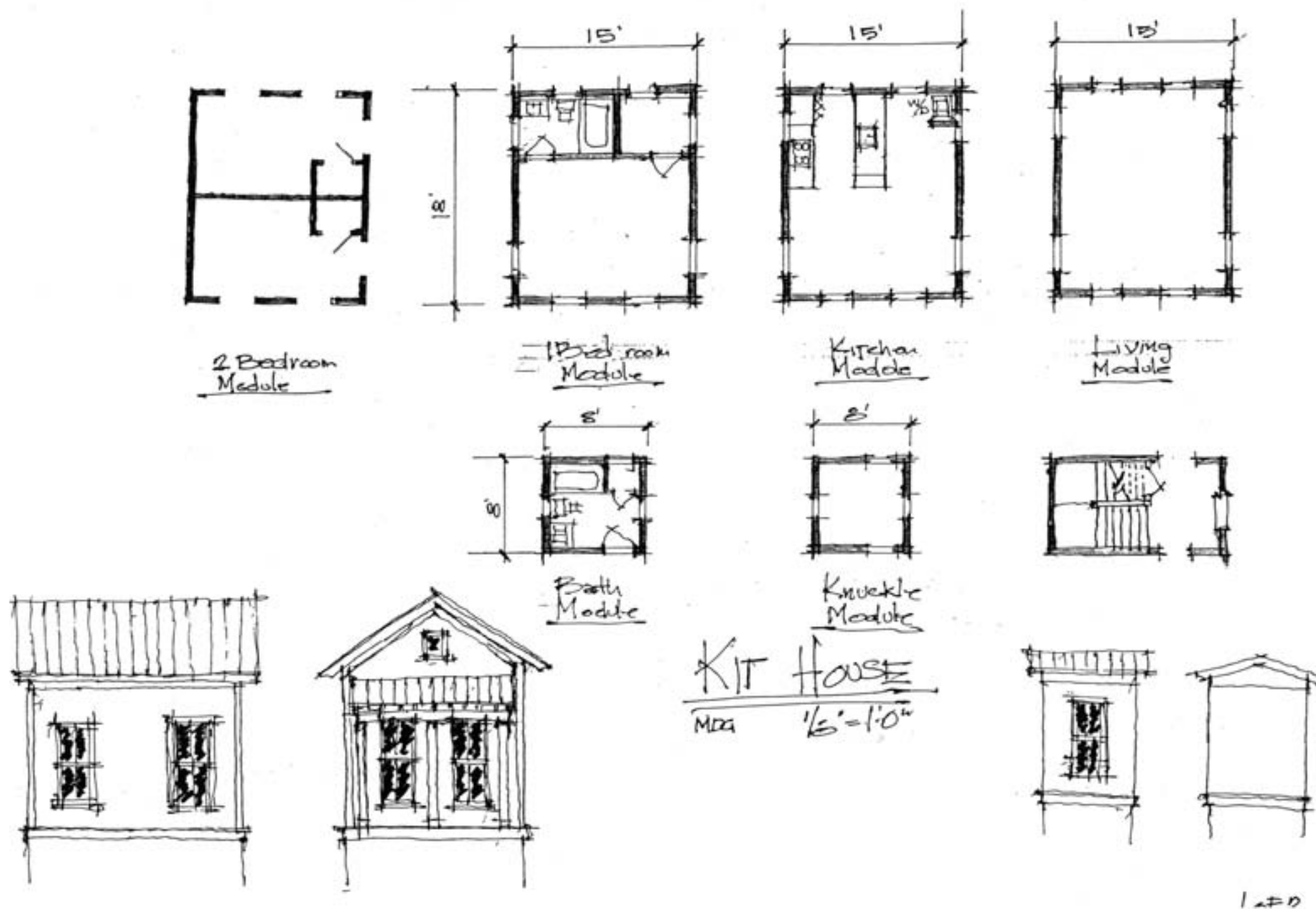
ericmoser@moserdesigngroup.com

E-mail address

HOUSING TYPE:

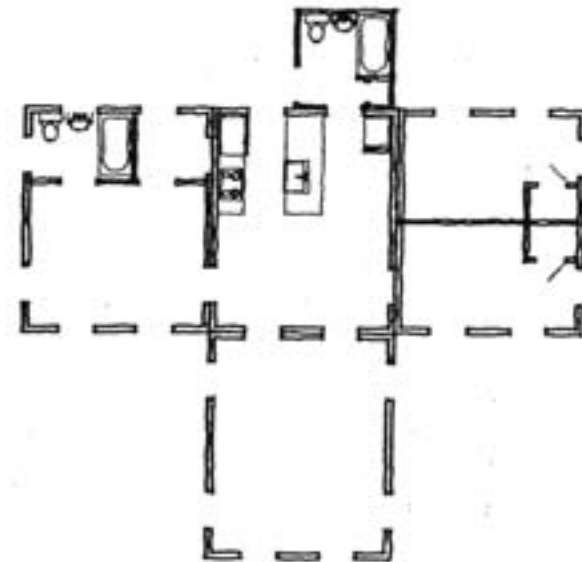
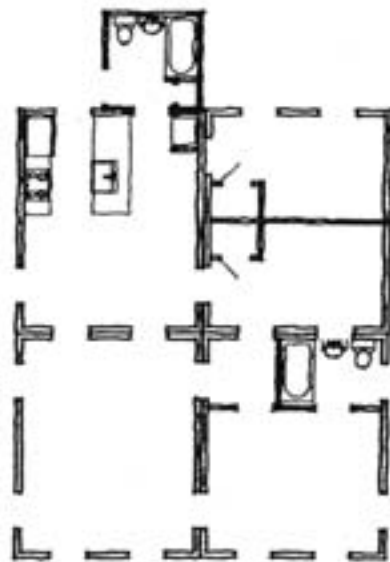
- ☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: Modular House components that can be fit together in many ways, and grow over time.

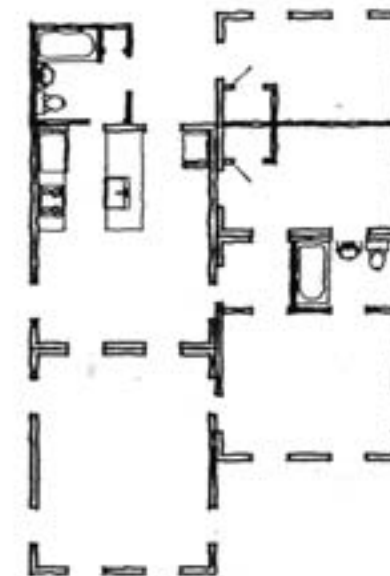




Kit ELEVATION options
 $1/16" = 1'-0"$



Kit PLAN options
 $1/8" = 1'-0"$



Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Kit House Configurations

Drawing Title

18 Oct 05

Date

R. Eric Moser

Name of Contact for Additional Information

ericmoser@moserdesigngroup.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: A few of the many Kit House component configuration options.



Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Modular Cottage Series

Drawing Title

06 Oct 05

Date

Dan Osborne

Name of Contact for Additional Information

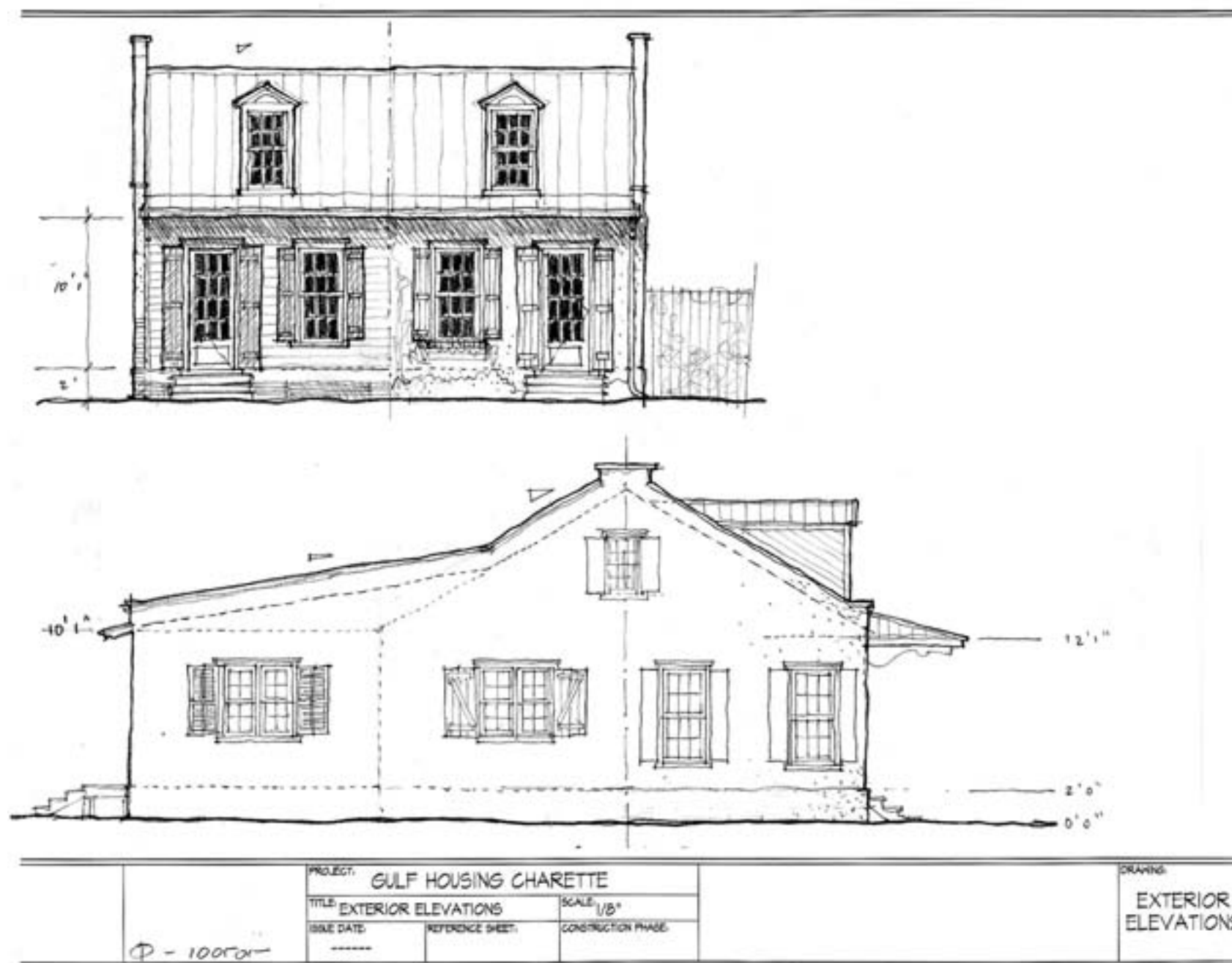
dosborne@historicalconcepts.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: The following series illustrates the flexibility of the modular building system. These Creole Cottages are created by combining 8' and 16' modules, and the square footages and configurations become numerous.



Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Modular Cottage Series

Drawing Title

06 Oct 05

Date

Dan Osborne

Name of Contact for Additional Information

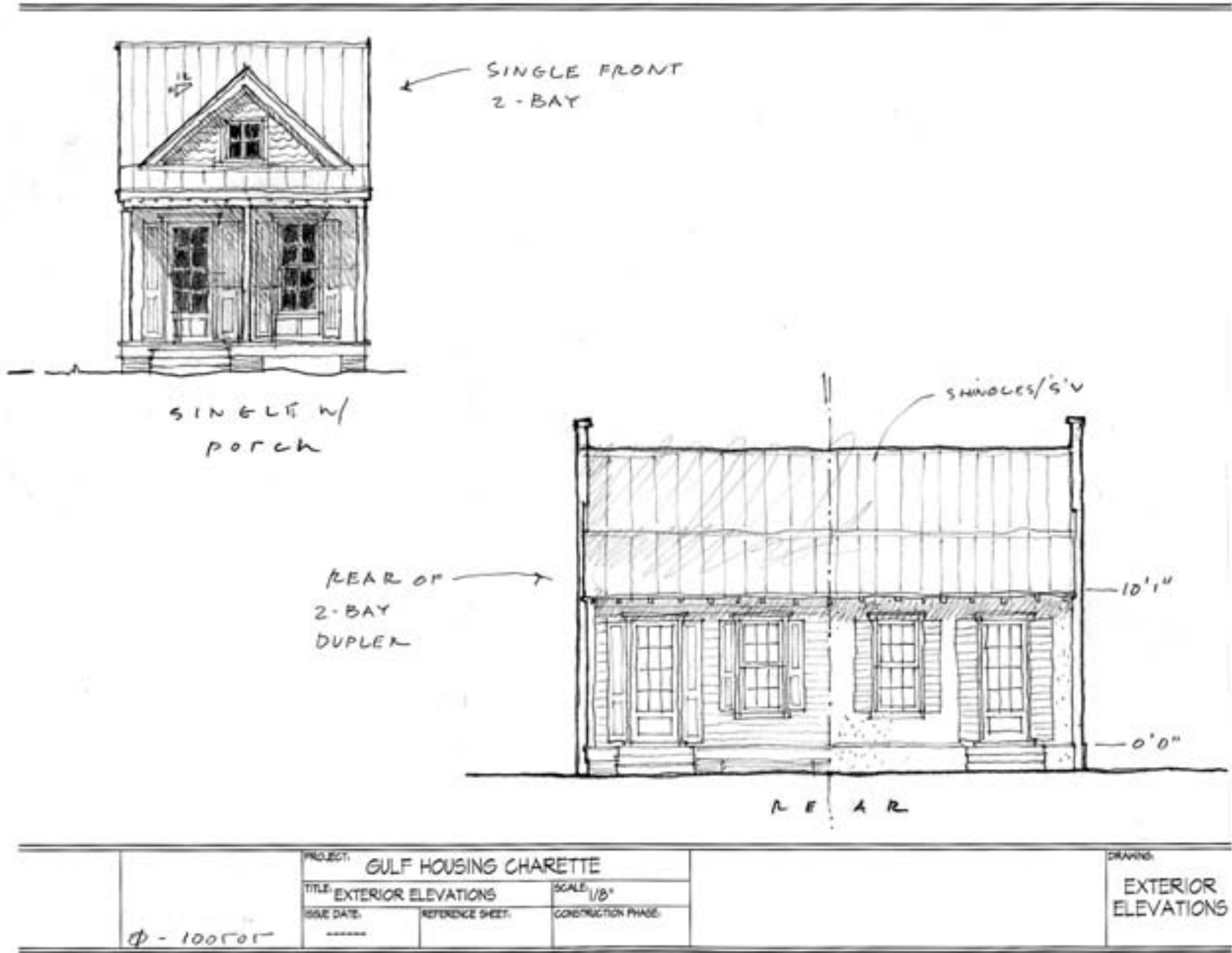
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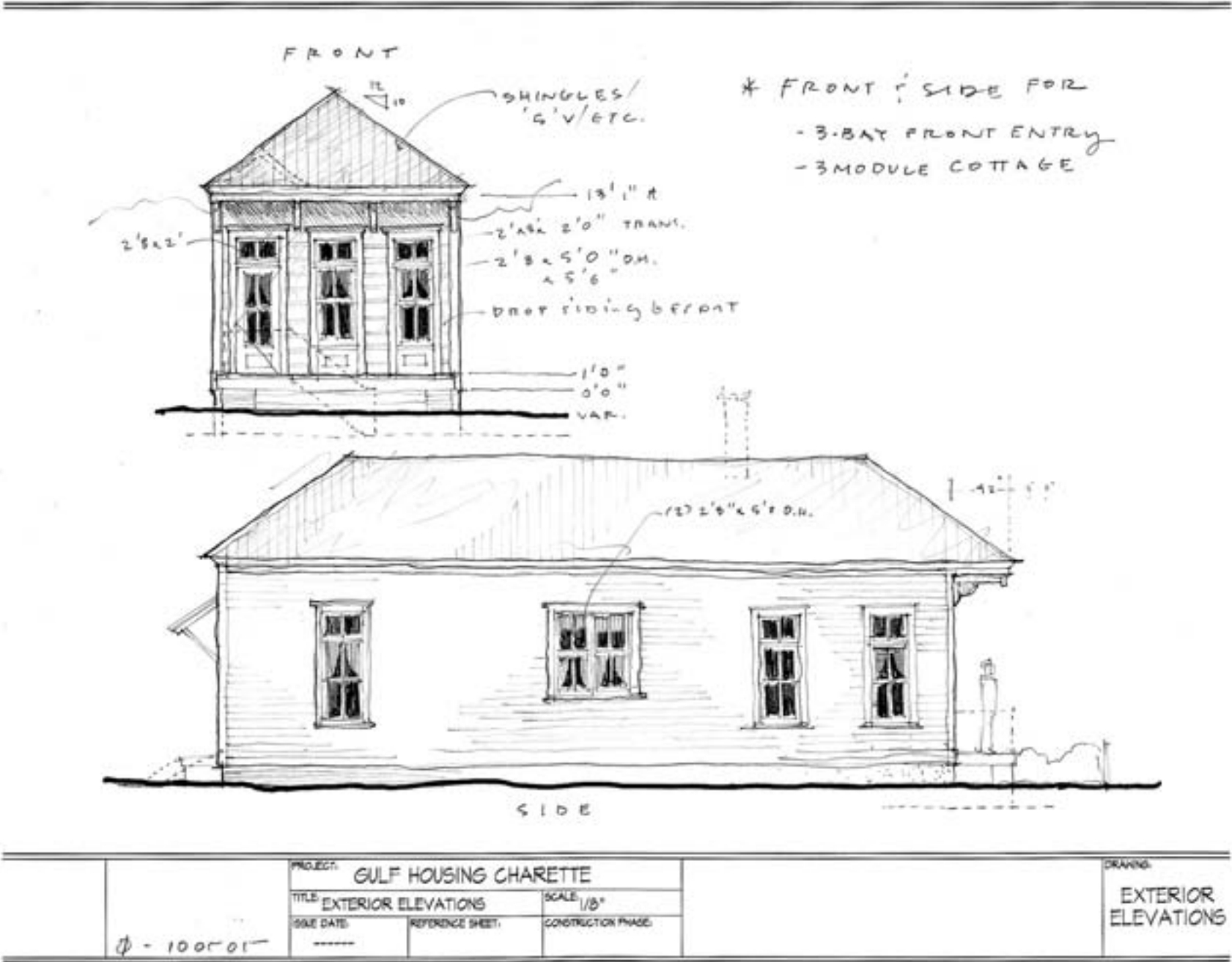
E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE:





Affordable Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Modular Cottage Series
Drawing Title

06 Oct 05
Date

Dan Osborne
Name of Contact for Additional Information

dosborne@historicalconcepts.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE:



Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Modular Cottage Series

Drawing Title

06 Oct 05

Date

Dan Osborne

Name of Contact for Additional Information

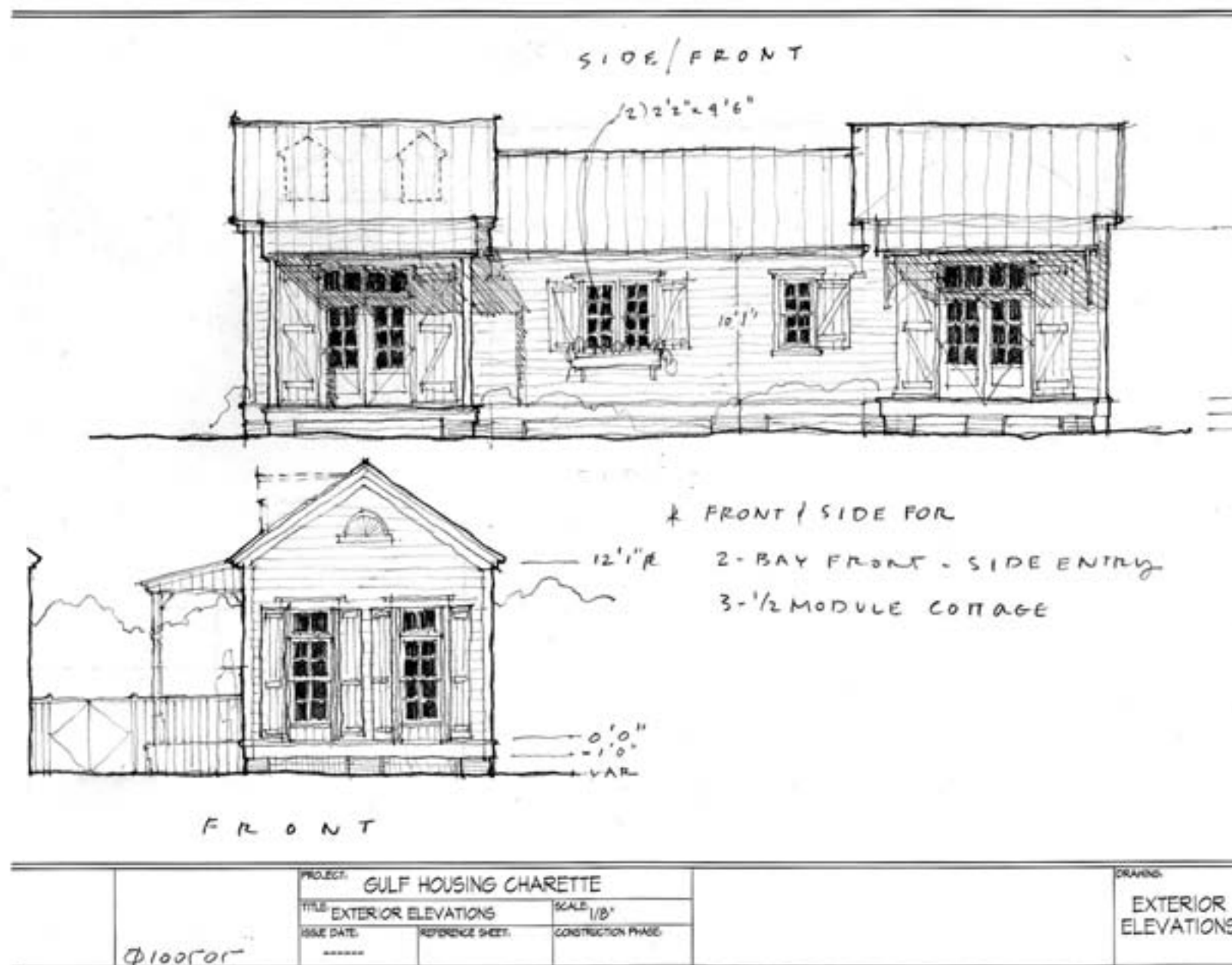
dosborne@historicalconcepts.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE:





Affordable Housing

Place or Topic

TIMING

☒ Immediate

☒ Medium Term

☒ Long Term

IMPLEMENTATION THROUGH

☒ Design

☐ Policy

☐ Management

Modular Cottage Series

Drawing Title

06 Oct 05

Date

Dan Osborne

Name of Contact for Additional Information

dosborne@historicalconcepts.com

E-mail address

HOUSING TYPE:

☐ Temporary

☐ Mobile

☒ Modular

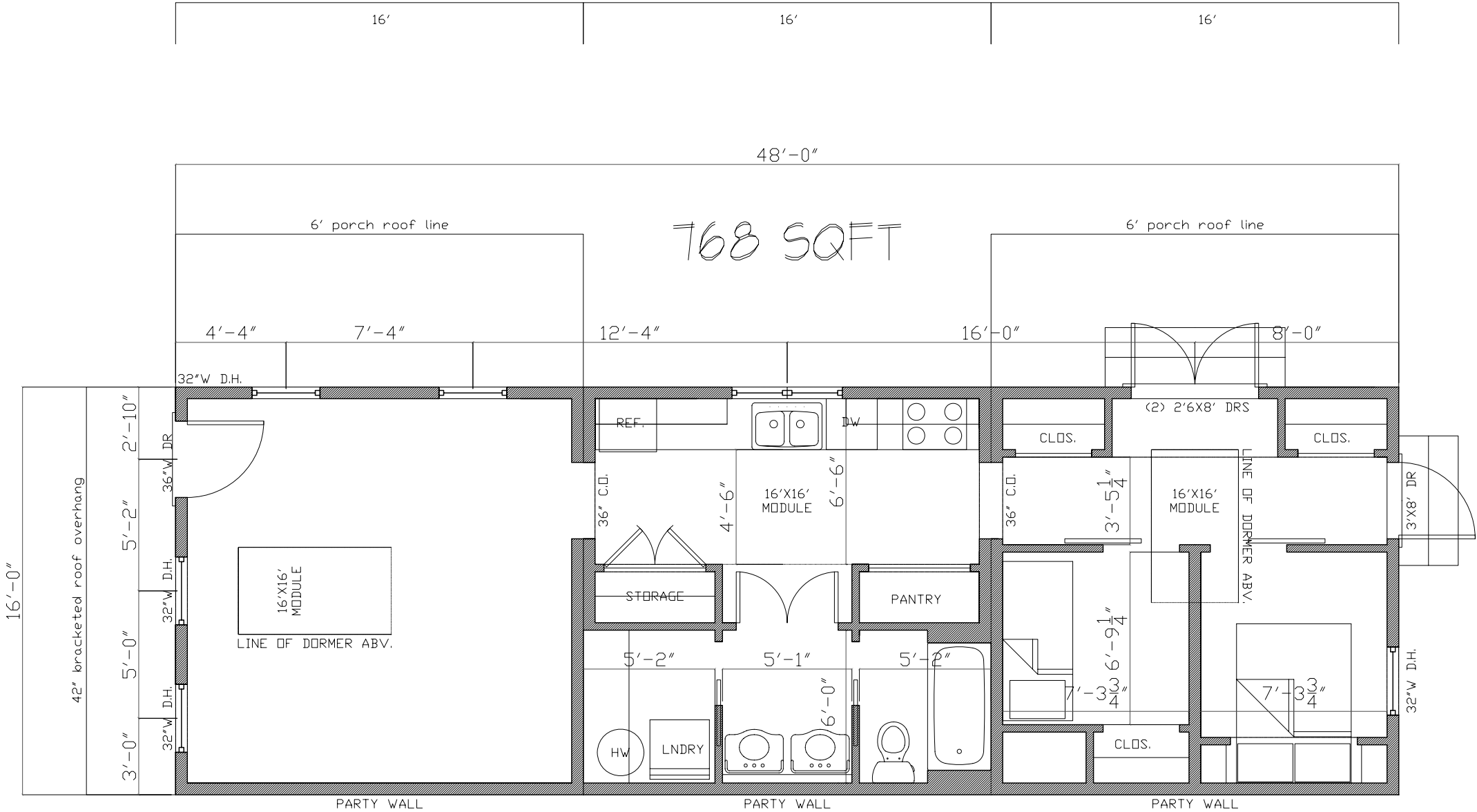
☒ Panelized

☒ Stock Plan

☐ Custom

☐ Commercial

NARRATIVE:



PROJECT: GULF COAST HOUSING CHARETTE		
TITLE: PLAN		SCALE: 1/4"
ISSUE DATE: 10/03/05	REFERENCE SHEET:	CONSTRUCTION PHASE:

DRAWING: PLAN

ARCHITECTURAL SUPPLEMENTAL INSTRUCTION



Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Modular Cottage Series

Drawing Title

06 Oct 05

Date

Dan Osborne

Name of Contact for Additional Information

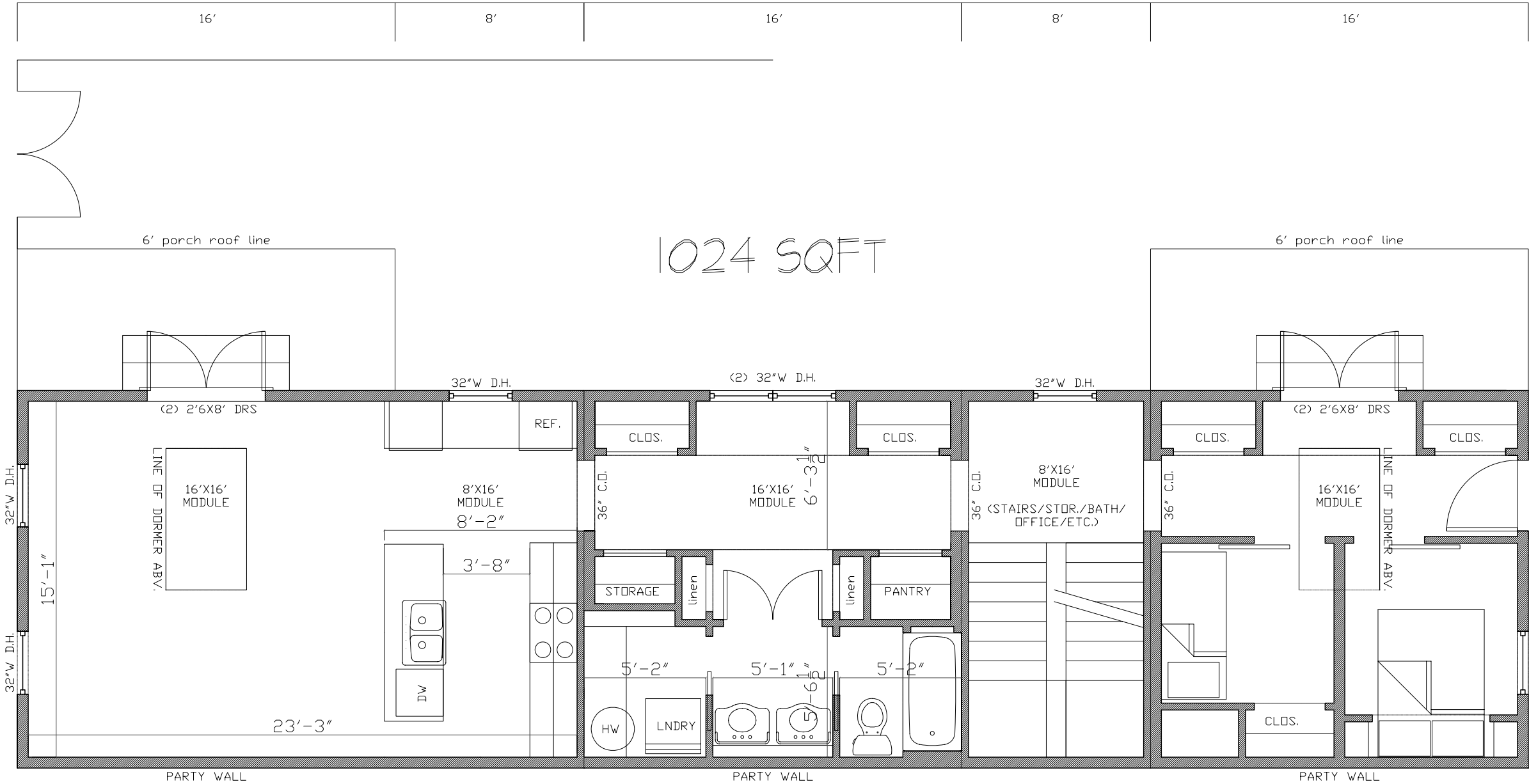
dosborne@historicalconcepts.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE:



PROJECT: GULF COAST HOUSING CHARETTE			DRAWING: PLAN VARIATION	
TITLE: PLAN		SCALE: 1/4"	3 MODULE 2 HALF MODULE	
ISSUE DATE: 10/03/05	REFERENCE SHEET:	CONSTRUCTION PHASE:		



Affordable Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Modular Cottage Series
Drawing Title

06 Oct 05
Date

Dan Osborne
Name of Contact for Additional Information

dosborne@historicalconcepts.com
E-mail address

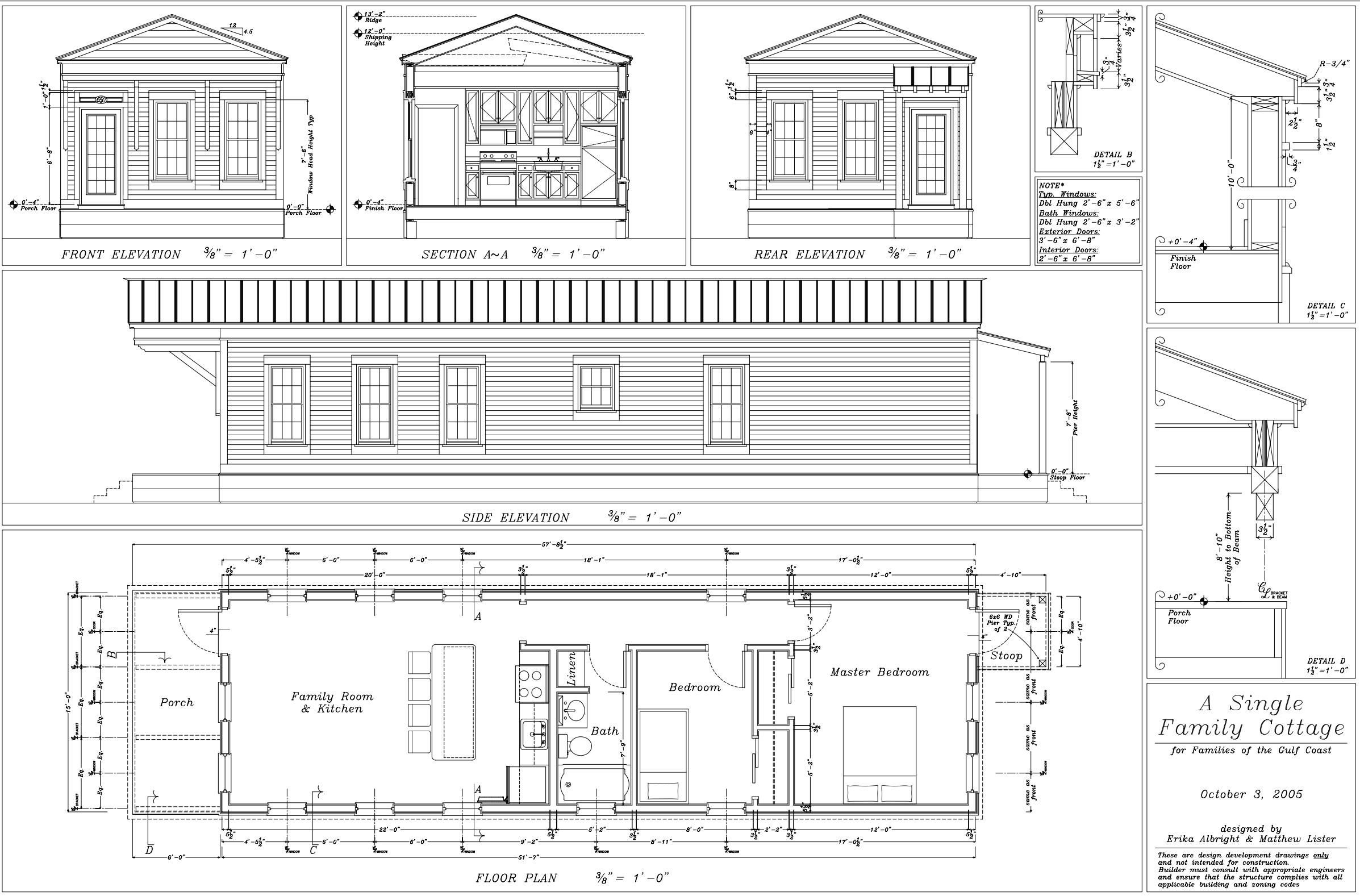
HOUSING TYPE:
☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This page illustrates some of the possible combinations of modules to form cottages and duplexes.



PROJECT: GULF COAST HOUSING CHARETTE		
TITLE: PLAN		SCALE: 1/8"
ISSUE DATE: 10/03/05	REFERENCE SHEET:	CONSTRUCTION PHASE:

DRAWING:
PLAN
VARIATIONS
ARCHITECTURAL SUPPLEMENTAL INSTRUCTION



Affordable Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

A Single Family Cottage
Drawing Title

06 Oct 05
Date

Erika Albright & Matthew Lister
Name of Contact for Additional Information

matthew@flmarchitects.com
E-mail address

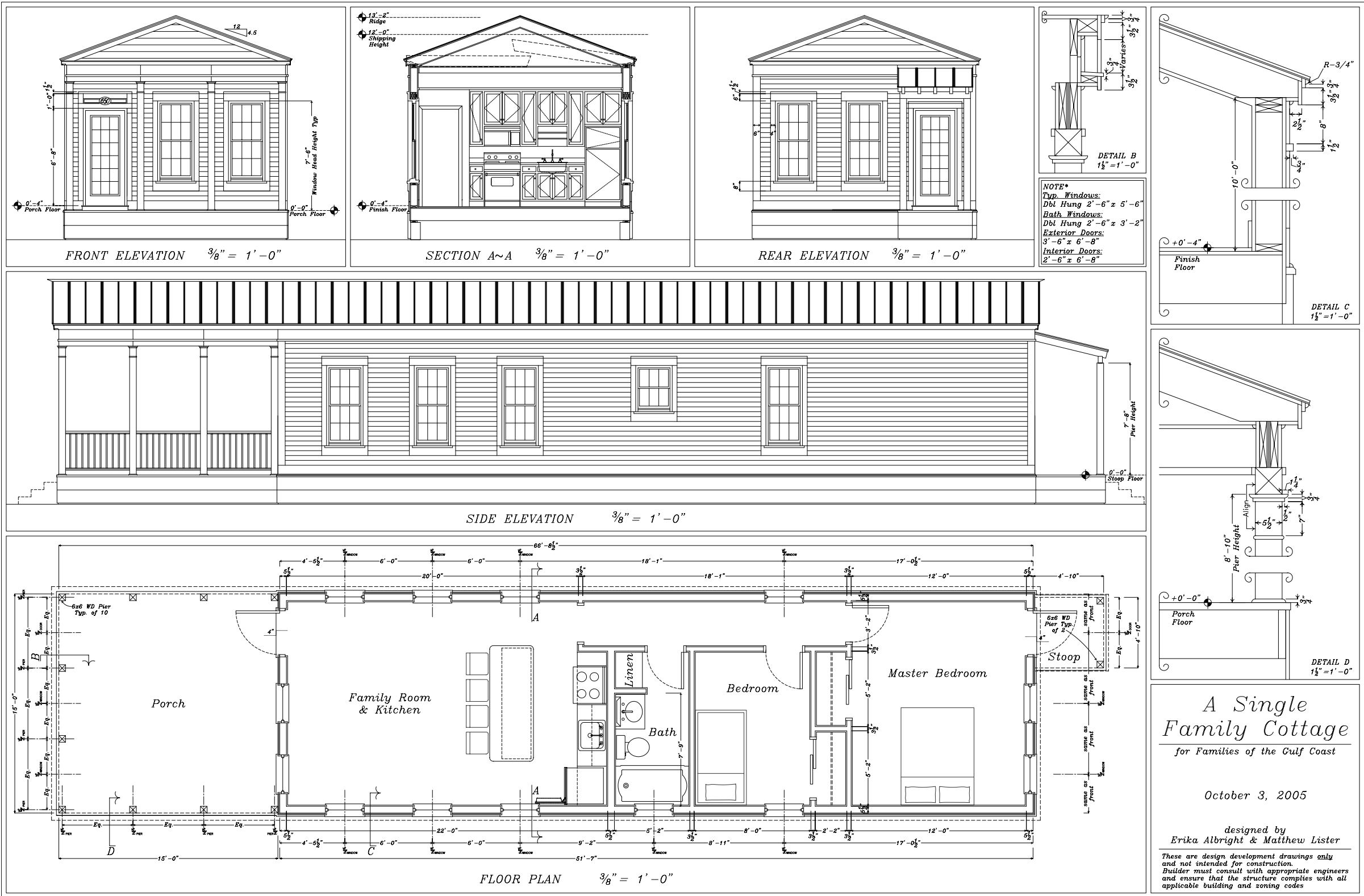
HOUSING TYPE:
☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

A Single
Family Cottage
for Families of the Gulf Coast

October 3, 2005

designed by
Erika Albright & Matthew Lister

These are design development drawings only
and not intended for construction.
Builder must consult with appropriate engineers
and ensure that the structure complies with all
applicable building and zoning codes



Affordable Housing
Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

A Single Family Cottage

Drawing Title

06 Oct 05

Date

Erika Albright & Matthew Lister

Name of Contact for Additional Information

matthew@flmarchitects.com

E-mail address

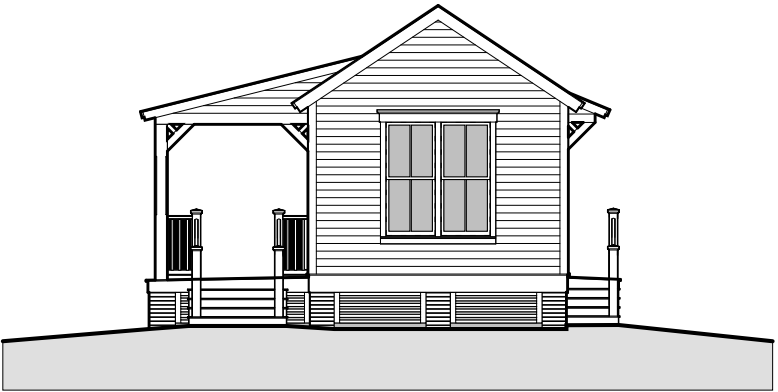
HOUSING TYPE:

- ☐ Temporary
- ☒ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

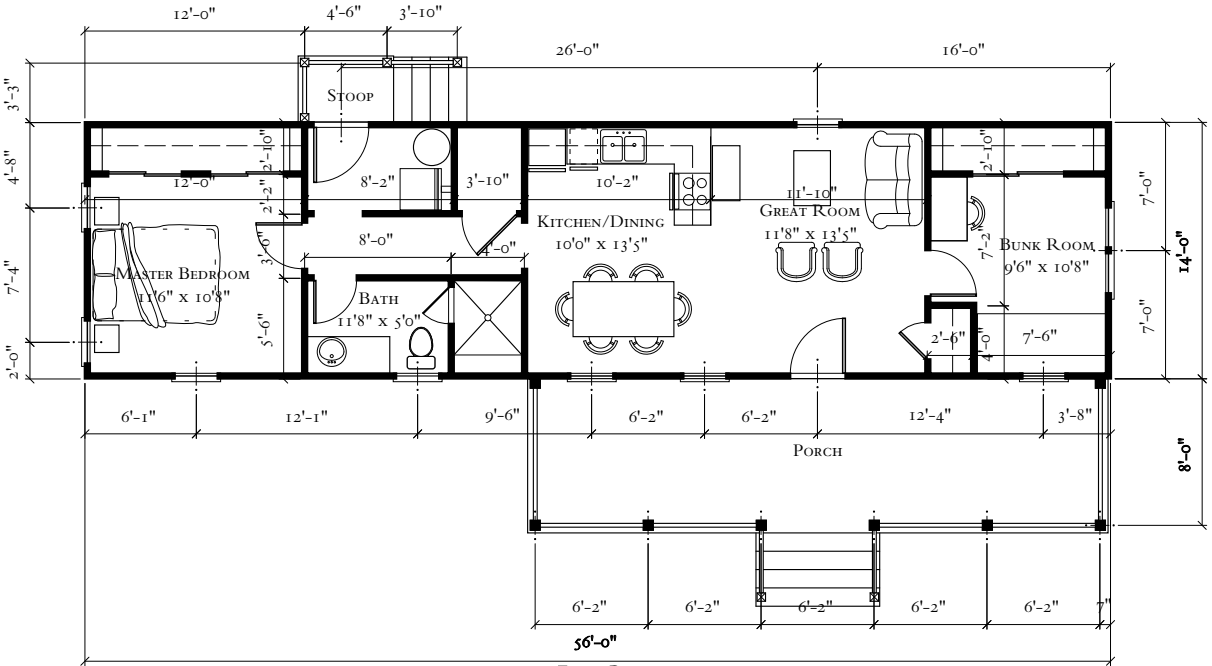
NARRATIVE: This second option has a generous front porch with columns that doubles the living area of the cottage.

SUSAN M. HENDERSON, AIA

1031 LOS PADRES PLACE SE, ALBUQUERQUE, NM



FRONT ELEVATION



FLOOR PLAN

VERNACULAR SIDEYARD
HEATED: 784; TOTAL UNDER ROOF: 1,055 S.F.

MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONVENOR FOR THE
NEW ORLEANS

Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Vernacular Sideyard

Drawing Title

28 Sep 05

Date

Susan Henderson

Name of Contact for Additional Information

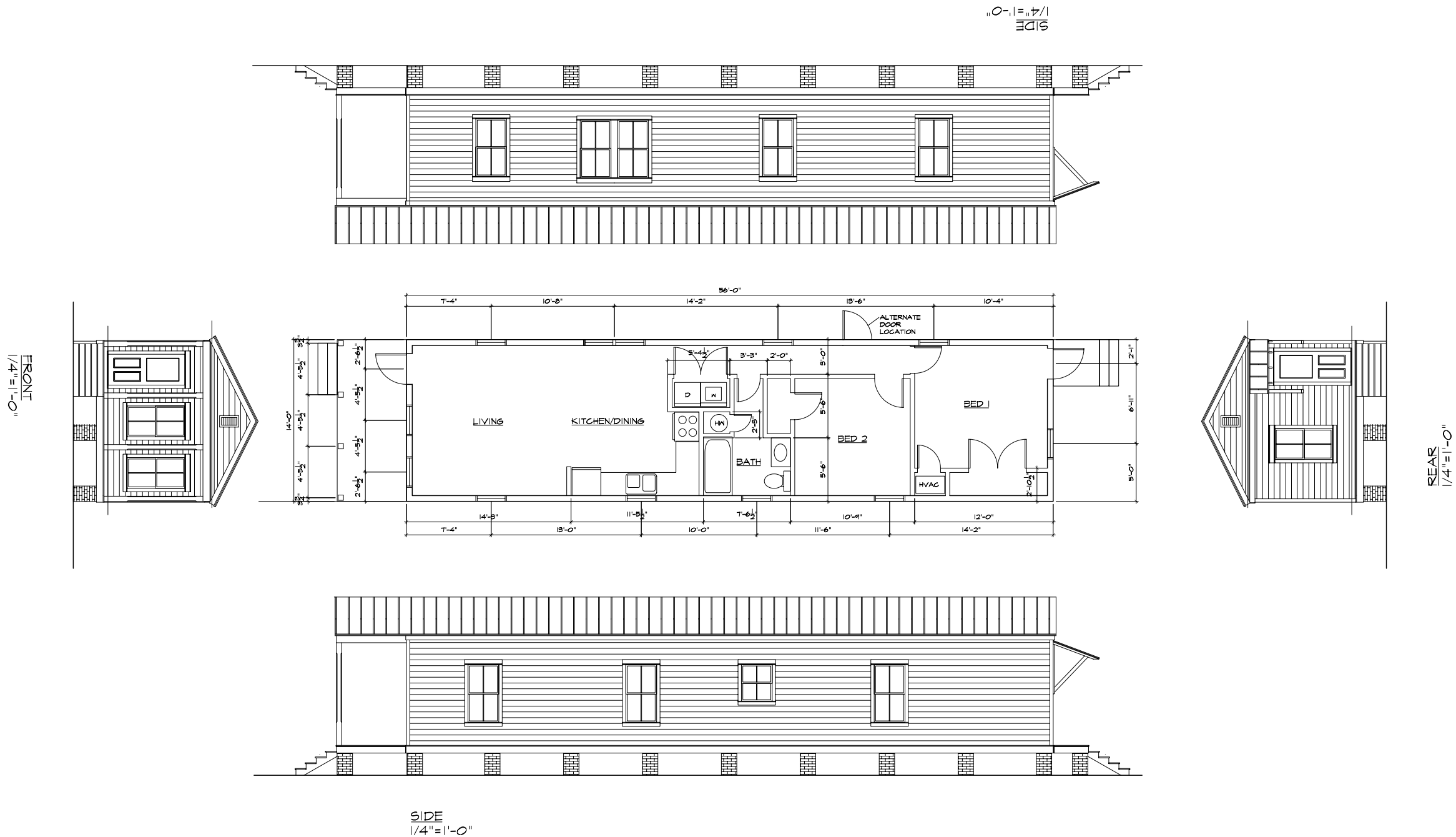
susan@placemakers.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This 784 sq. ft. 2 bedroom cottage may be manufactured, modular or panelized. It is has a generous, open living area, and comfortably sleeps four. The sideyard typology allows for a very large porch for three-season living in the Gulf coast region.



Affordable Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

14' x 56' Shotgun
Drawing Title

06 Oct 05
Date

Frank Greene
Name of Contact for Additional Information

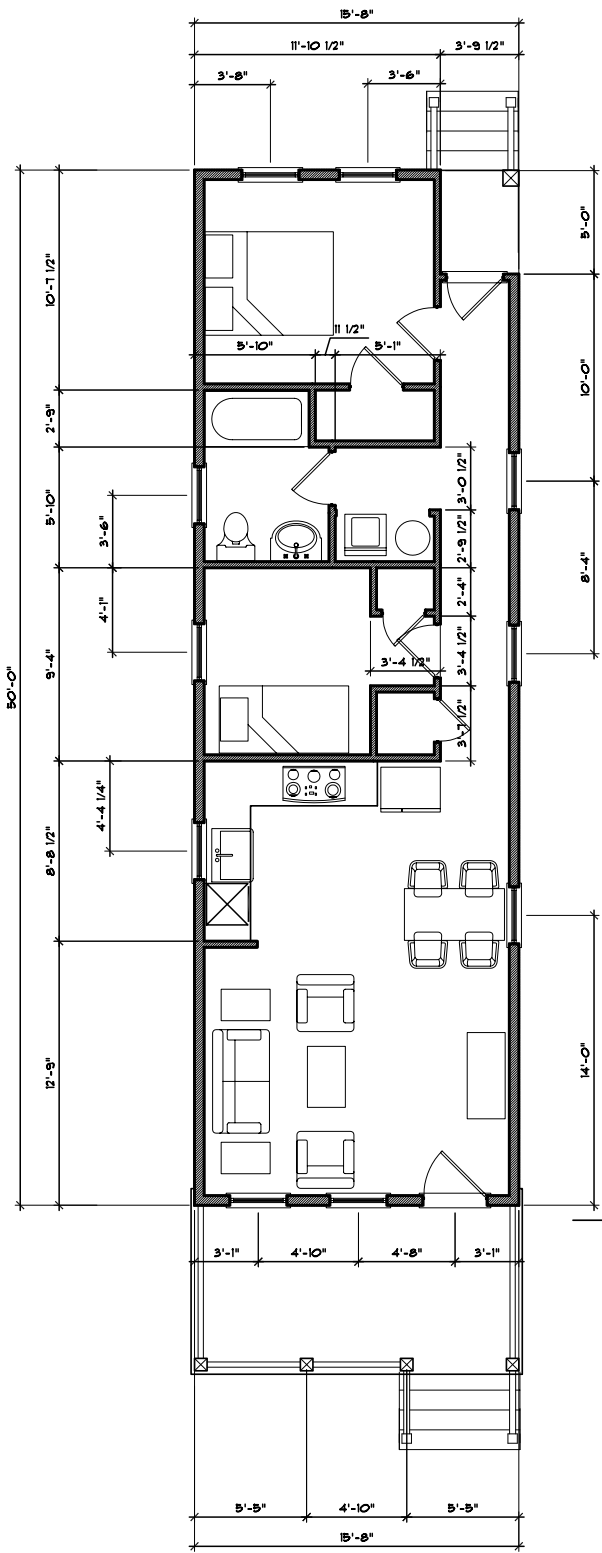
fgreene@lrk.com
E-mail address

HOUSING TYPE:
☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This 784 sq. ft. 2 bedroom cottage may be manufactured, modular or panelized. It is amazingly liveable for such a small square footage, and is in ideal solution to affordable housing.

Prototype "D"
Contemporary Shotgun Plan
Hurricane Reconstruction Resource
05.M0010.00 • September 30, 2005
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LRK
Looney Ricks Kiss
31 Main Street, P.O. Box 611220
Rosemary beach, FL 32461
Telephone 850 231 6833
Fax 850 231 6838
Internet www.lrk.com
Memphis • Nashville • Princeton
Celebration • Rosemary Beach
Architecture Planning Interiors Research



PLAN "B"
16'X50' COTTAGE 800 SQFT
SCALE: 1/8" = 1'-0"



Affordable Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

16' x 50' Cottage
Drawing Title

13 Oct 05
Date

Eric Moser
Name of Contact for Additional Information

ericmoser@moserdesigngroup.com
E-mail address

HOUSING TYPE:
☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This 800 sq. ft. cottage is intended for immediate housing for workers and displaced residents. It can be manufactured, modular construction, panelized construction, or stick-built on site. It is transportable, and may be used as long-term affordable housing as well. The two bedroom cottage has an open plan living area with a generous front porch.



Affordable Housing

Place or Topic

TIMING

- X Immediate
X Medium Term
X Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

New Orleans Sidehall

Drawing Title

28 Sep 05

Date _____

Susan Henderson

Name of Contact for Additional Information

susan@placemakers.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☒ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE: Two elevations are given for this 885 sq. ft., two bedroom cottage. It lives generously with a public front porch as well as a private porch off the master bedroom.

SUSAN M. HENDERSON, AIA

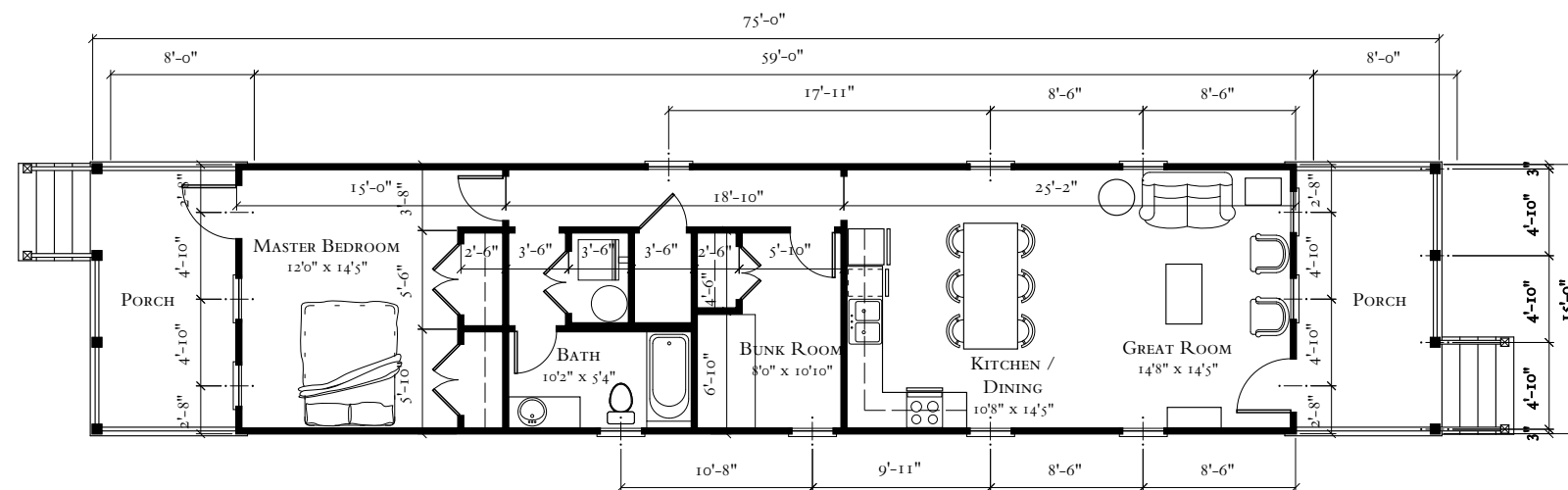
1031 LOS PADRES PLACE SE, ALBUQUERQUE, NM



BRACKETED CANTILEVER ELEVATION

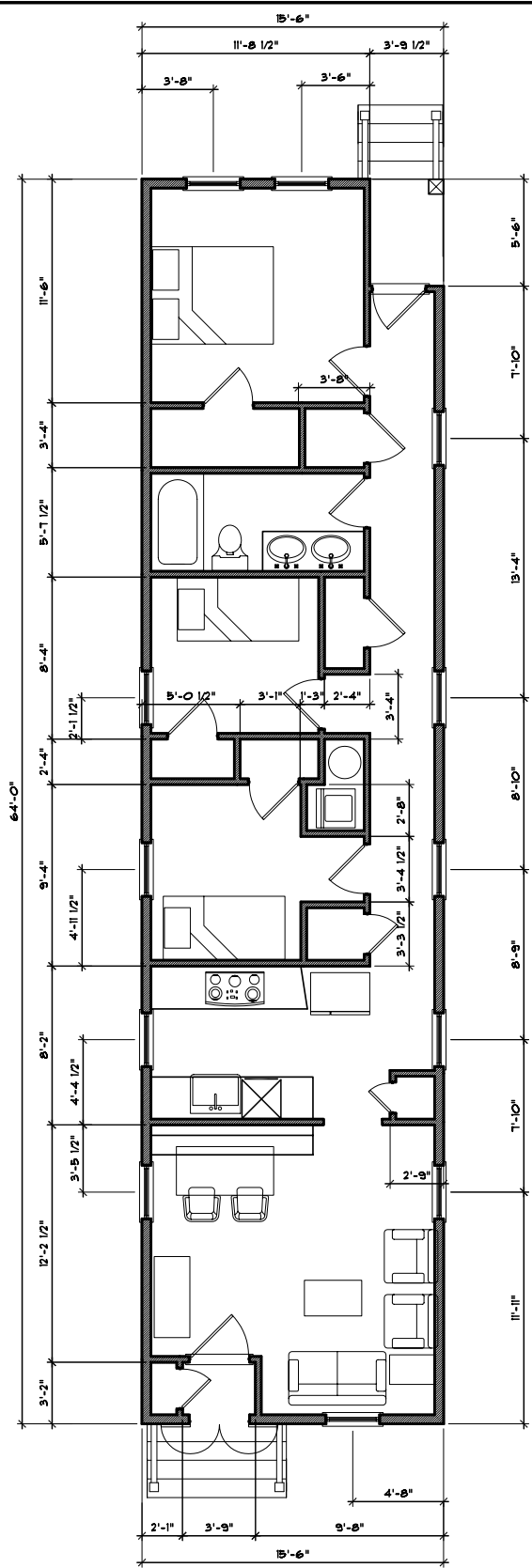


PORCH ELEVATION



FLOOR PLAN

NEW ORLEANS SIDEHALL
HEATED: 885; TOTAL UNDER ROOF: 1,125 S.F.



PLAN "C"
16'X64' COTTAGE 992 SQFT

0 2' 4' 8'
SCALE: 1/8" = 1'-0"



Affordable Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

16' x 64' Cottage
Drawing Title

13 Oct 05
Date

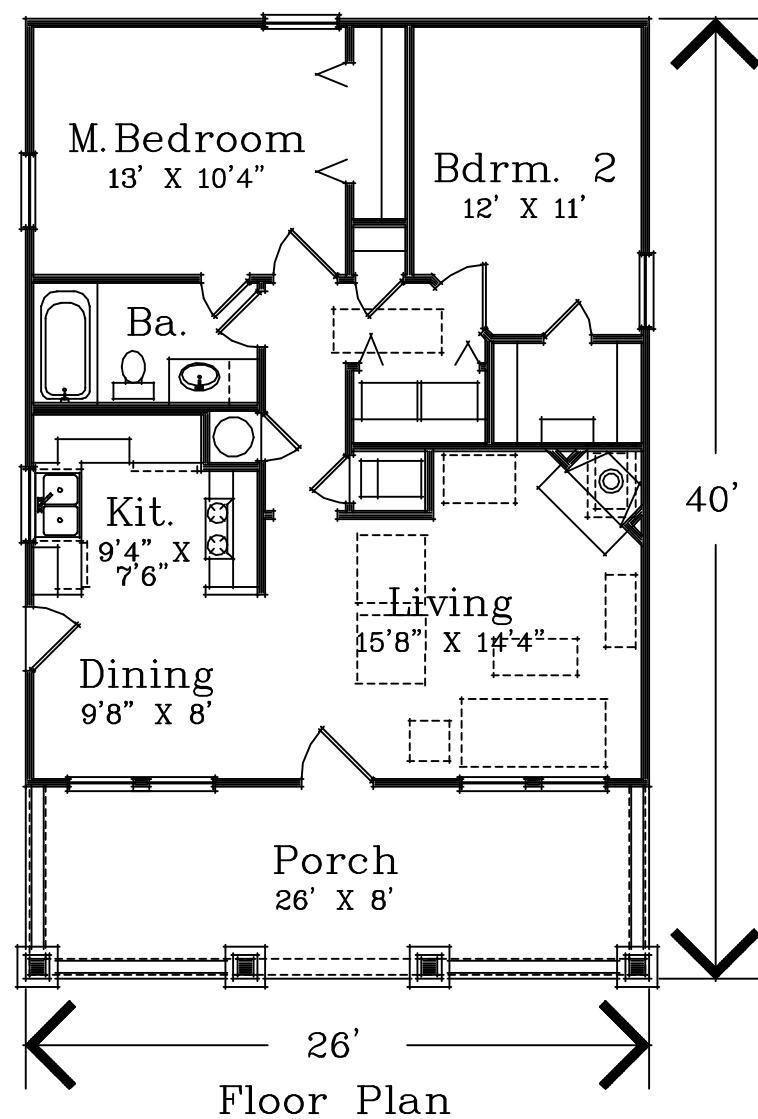
Eric Moser
Name of Contact for Additional Information

ericmoser@moserdesigngroup.com
E-mail address

HOUSING TYPE:
☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This 992 sq. ft. cottage is an excellent solution to the need for affordable housing. It can be manufactured, modular construction, panelized construction, or stick-built on site. The three bedrooms are suitable for a family and it's style is inspired by the Gulf coast shotguns.

PREVALENCE NEIGHBORHOOD COLLECTION



Front Elevation

BARRANCO MRF-832



Affordable Housing

Place or Topic

TIMING

- ☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

832 sq. ft. Bungalow

Drawing Title

18 Oct 05

Date

Michael Barranco

Name of Contact for Additional Information

mbarranco@barrancoarc.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This 832 sq. ft. 2 bedroom bungalow may be modular or panelized construction, and features an open living area with kitchen / dining adjacent. The generous front porch adds outdoor living area. The bungalow's elevation can vary depending on FEMA requirements.



Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Single-Barrel Model T

Drawing Title

05 Oct 05

Date

Stephen A. Mouzon

Name of Contact for Additional Information

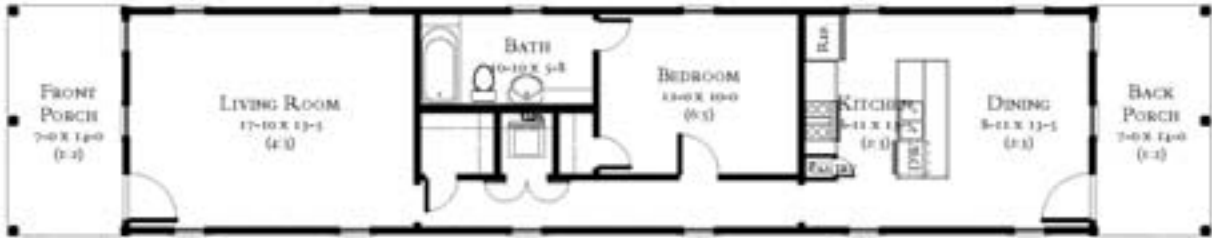
steve@newurbanguild.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☒ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE: This 849 sq. ft. 1 bedroom cottage may be a single or doubled as a duplex, and features a generous living room, and an open kitchen / dining room. Both living areas have generous porches.



SINGLE-BARREL FLOOR PLAN 2

849 SQUARE FEET

STEPHEN A. MOUZON, AIA CNU LEED

1253 WASHINGTON AVENUE, SUITE 222, MIAMI BEACH, FLORIDA 33139 (786)276-6000 HTTP://WWW.MOUZON.COM
LICENSED TO PRACTICE ARCHITECTURE IN FLORIDA & ALABAMA. RESIDENTIAL DESIGN CONSULTANT IN OTHER STATES.



Affordable Housing
Place or Topic

TIMING
☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

850 sq. ft. Duplex (each unit)
Drawing Title

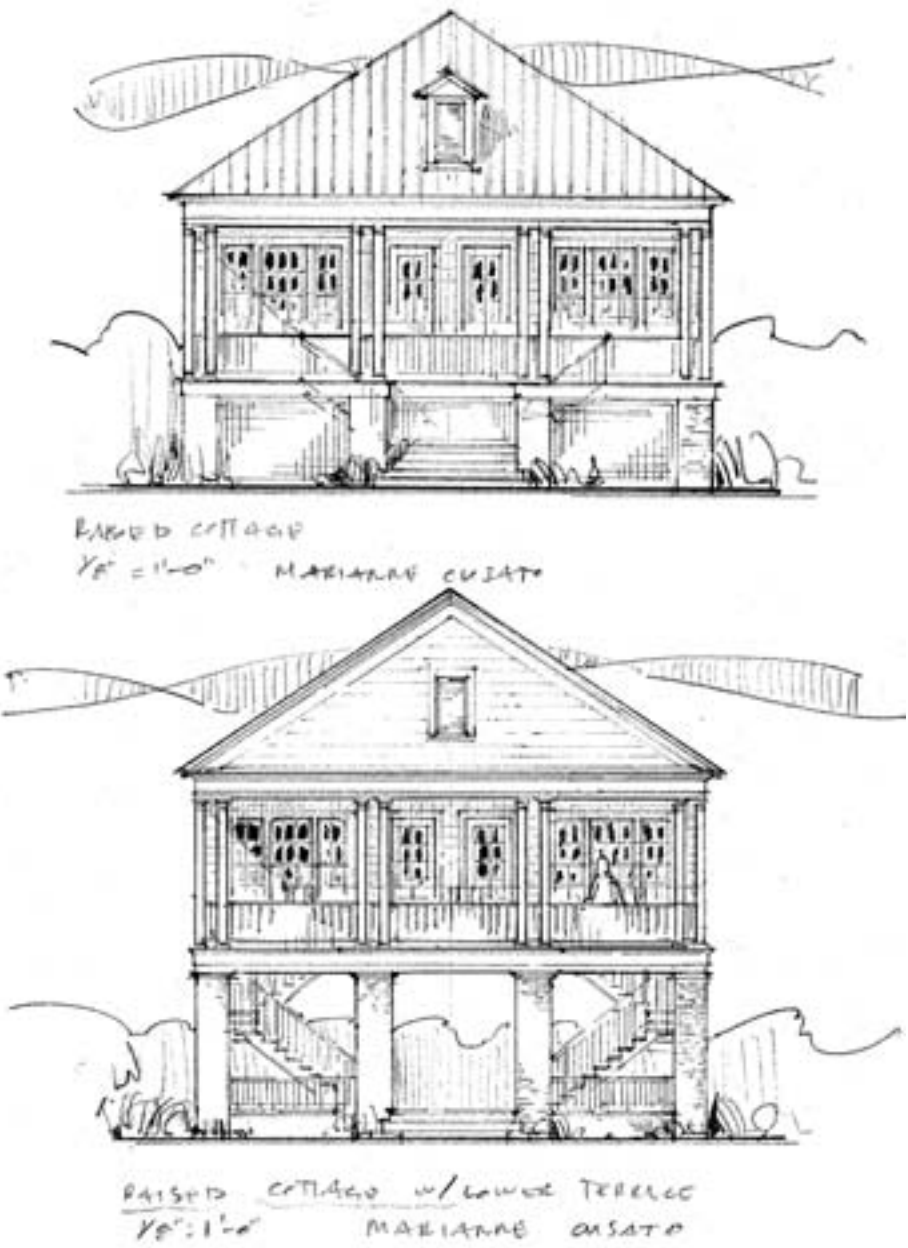
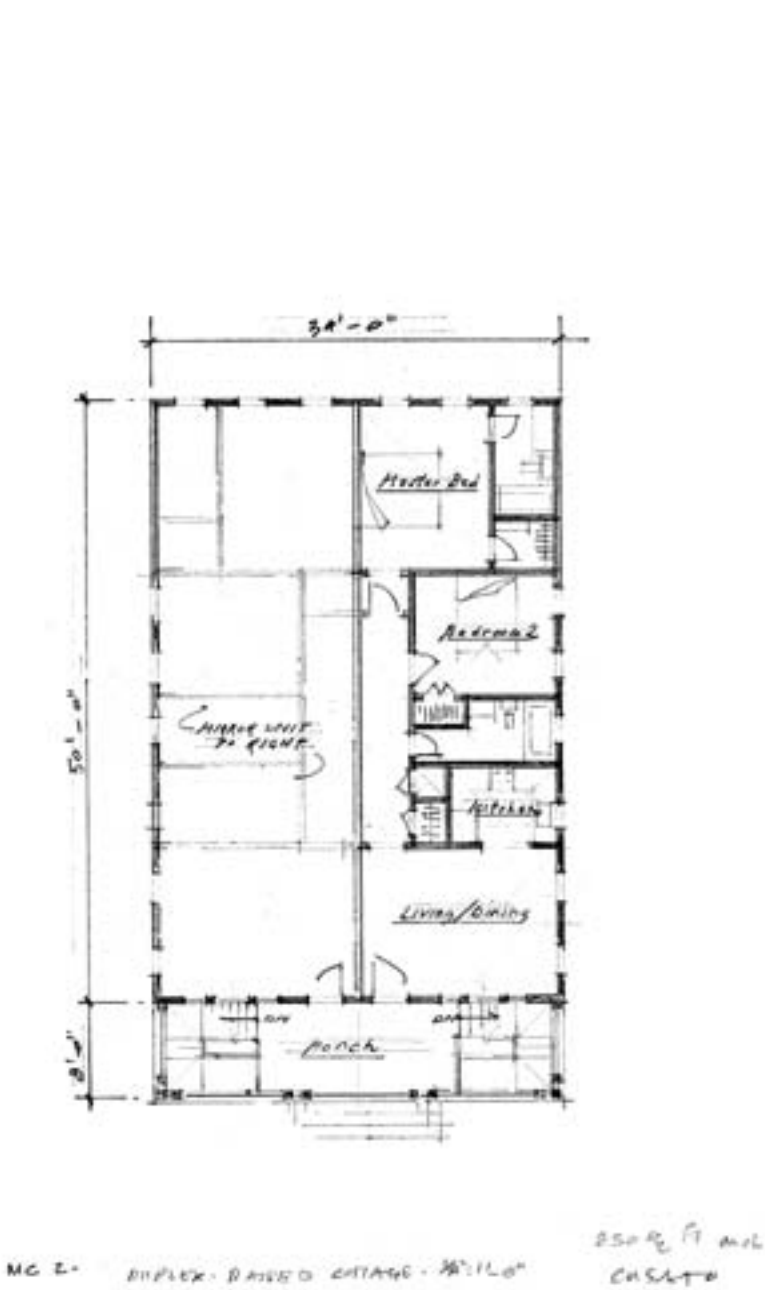
18 Oct 05
Date

Marianne Cusato
Name of Contact for Additional Information

mcusato@aol.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This 2 bedroom, 2 bath duplex may be built with a number of technologies for speed and affordability. The elevations illustrate variation for meeting FEMA requirements. The second unit may be rented to increase affordability.





Affordable Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Shotgun Prototype #1

Drawing Title

05 Oct 05

Date

Eric Brown

Name of Contact for Additional Information

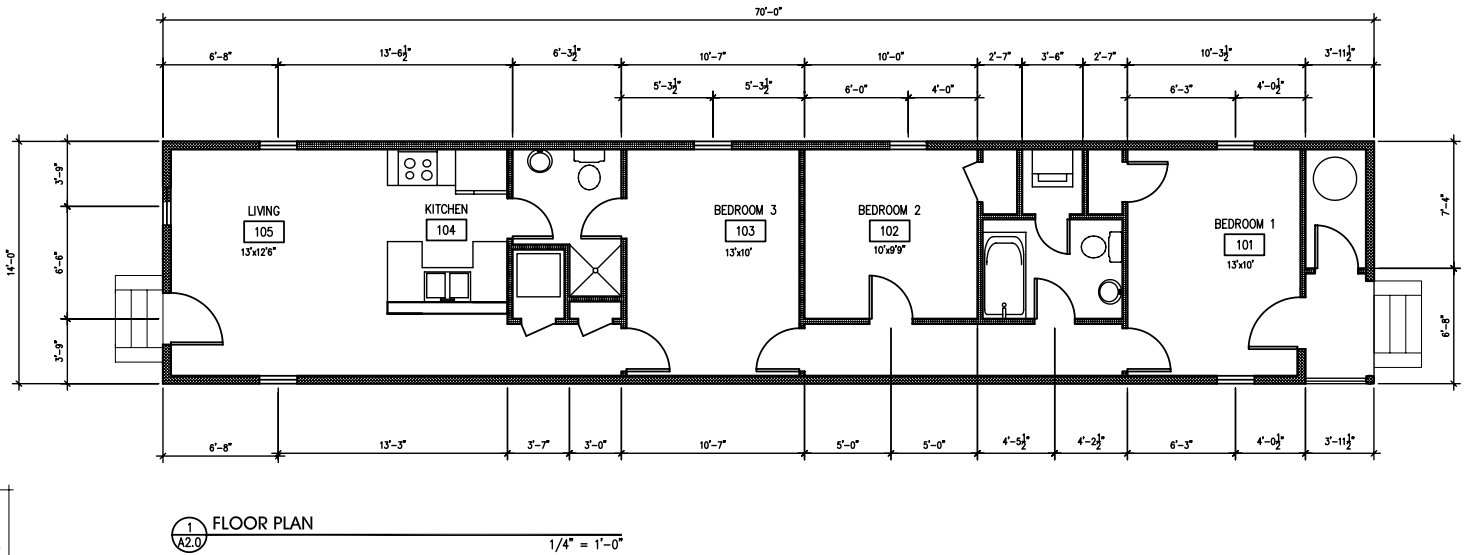
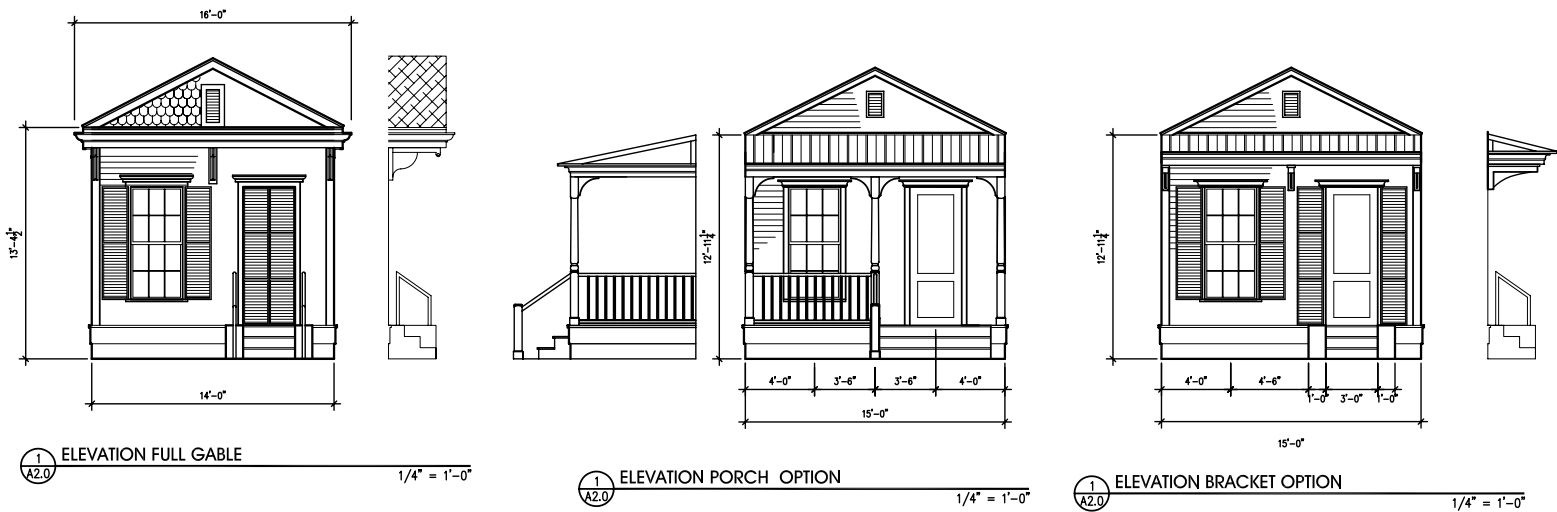
eric@brownds.com

E-mail address

HOUSING TYPE:

☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This 954 sq. ft. 3 bedroom cottage may be manufactured, modular or panelized. It is inspired by the New Orleans Shotgun. Three options are available for the front elevation including a porch, and two options for covered stoops.



AREA:
954 SQ FT

Shotgun Prototype #2

BROWN DESIGN

studio
Architecture
328 Brown Cove Rd. Suite 802, Ridgeland, SC 29936
ph. (843) 988-9810 fax. (843) 988-9478

DATE

NOTES

DESIGN

9.28.05



Affordable Housing
Place or Topic

- TIMING
- ☒ Immediate
 - ☒ Medium Term
 - ☒ Long Term

- IMPLEMENTATION THROUGH
- ☒ Design
 - ☐ Policy
 - ☐ Management

Shotgun Prototype #1
Drawing Title

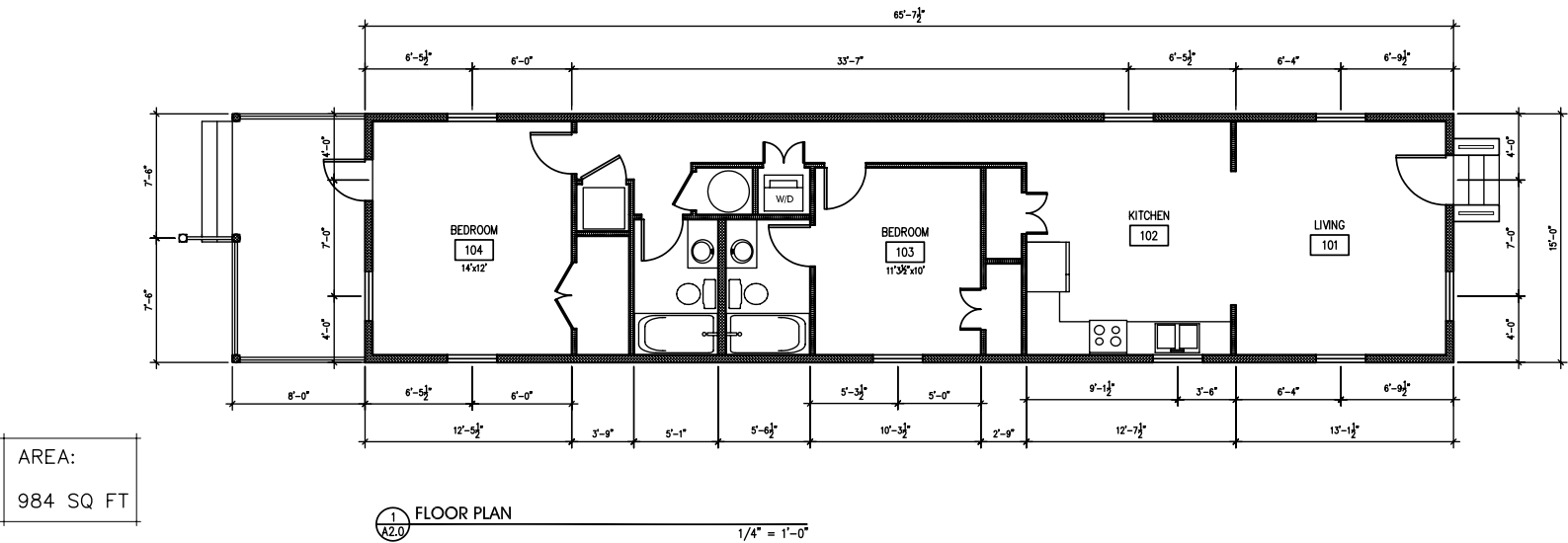
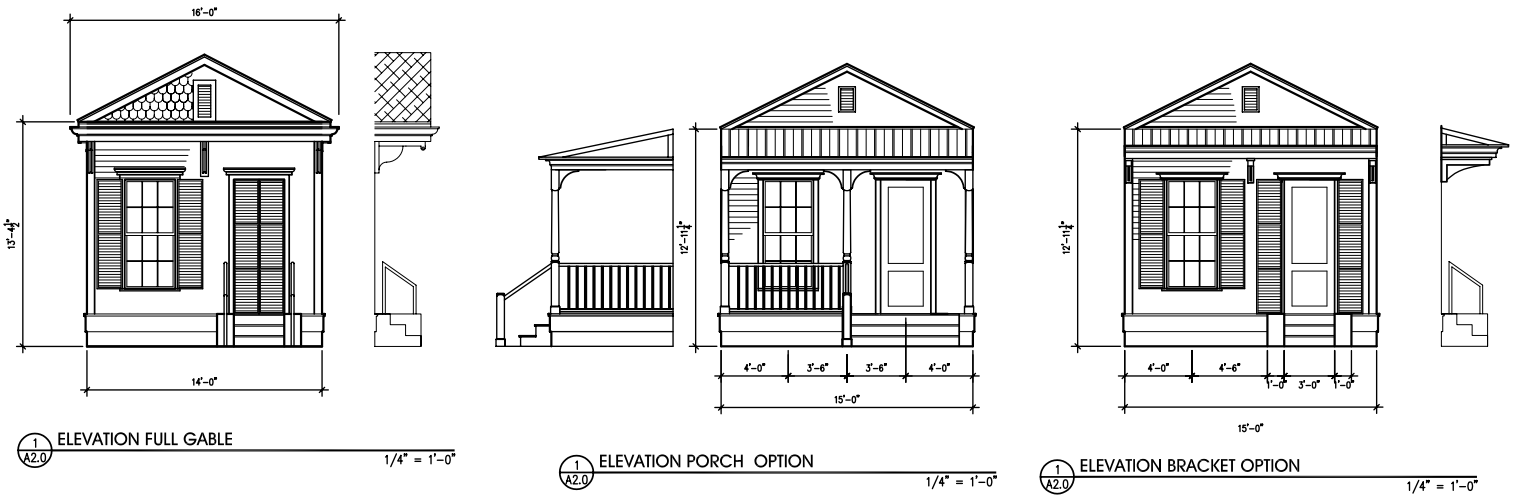
05 Oct 05
Date

Eric Brown
Name of Contact for Additional Information

eric@brownds.com
E-mail address

- HOUSING TYPE:
- ☐ Temporary
 - ☒ Mobile
 - ☒ Modular
 - ☒ Panelized
 - ☒ Stock Plan
 - ☐ Custom
 - ☐ Commercial

NARRATIVE: This 984 sq. ft. 2 bedroom cottage may be manufactured, modular or panelized. It is inspired by the New Orleans Shotgun, and its open plan has ample natural light. Three options are available for the front elevation including a porch, and two options for covered stoops.



BROWN DESIGN
studio
Architecture
Urban Design
328 Browns Cove Rd, Suite 802, Ridgeland, SC, 29936
ph. (843) 988-9610 fax. (843) 988-9478

DATE
9.28.05

NOTES
DESIGN



Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Single-Barrel Model T

Drawing Title

05 Oct 05

Date

Stephen A. Mouzon

Name of Contact for Additional Information

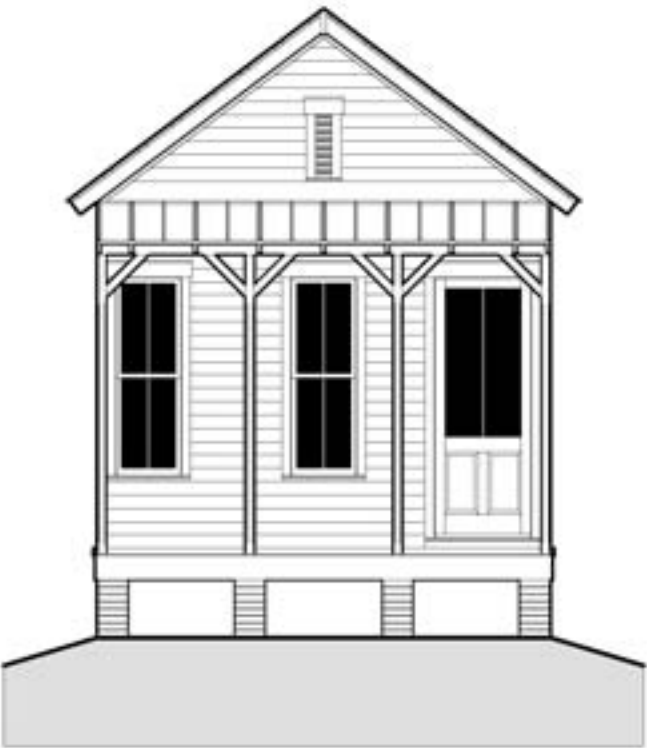
steve@newurbanguild.com

E-mail address

HOUSING TYPE:

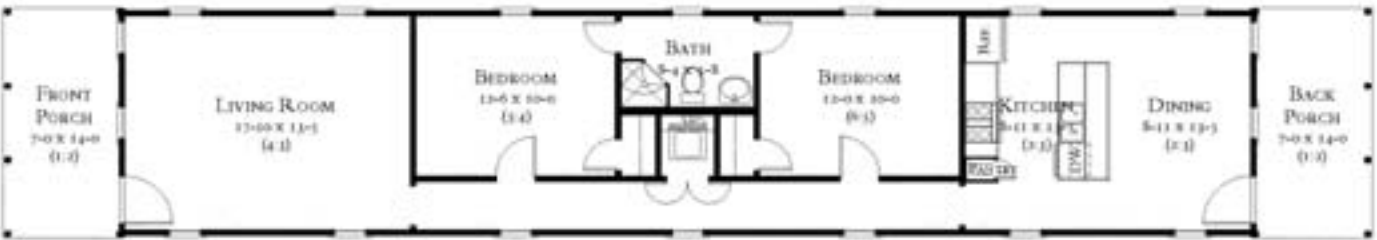
- ☐ Temporary
- ☒ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE: This 994 sq. ft. 2 bedroom cottage may be manufactured, modular or panelized. It is inspired by the New Orleans Sidehall, and features a generous living room, and an open kitchen / dining room. Both living areas have generous porches.



FRONT ELEVATION

SINGLE-BARREL SHOTGUN, VERNACULAR 1



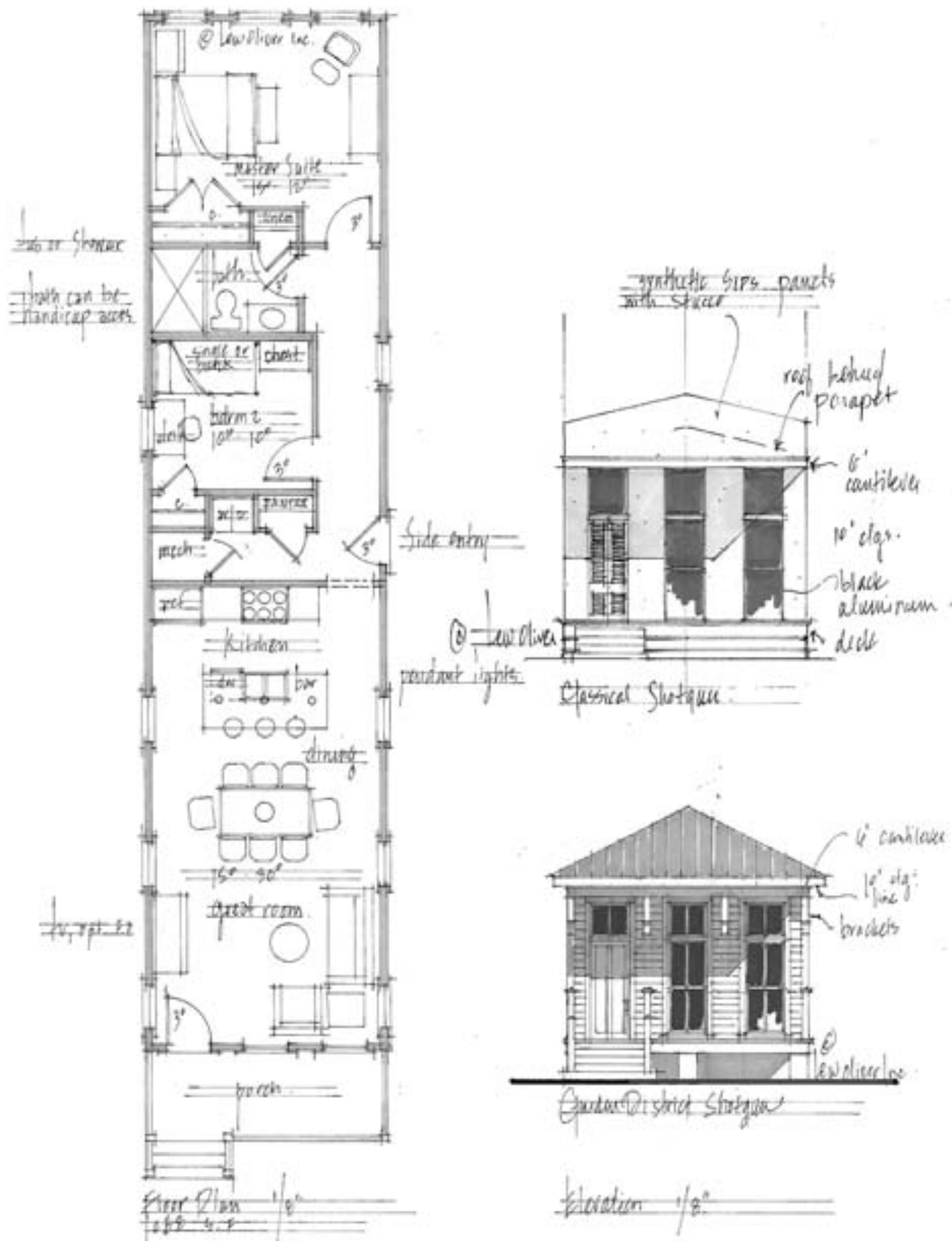
SINGLE-BARREL FLOOR PLAN 1

994 SQUARE FEET



STEPHEN A. MOUZON, AIA CNU LEED

1253 WASHINGTON AVENUE, SUITE 222, MIAMI BEACH, FLORIDA 33139 (786)276-6000 HTTP://WWW.MOUZON.COM
LICENSED TO PRACTICE ARCHITECTURE IN FLORIDA & ALABAMA. RESIDENTIAL DESIGN CONSULTANT IN OTHER STATES.



Affordable Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

1,088 sq. ft. Shotgun
Drawing Title


29 Sep 05
Date

Lew Oliver
Name of Contact for Additional Information


arch60@bellsouth.net
E-mail address

HOUSING TYPE:
☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial


NARRATIVE: This generous 2 bedroom shotgun has ample daylight in the open plan living areas and the luxury of a utility with pantry. Two styles are available, the Garden District and the Contemporary.




TNH-B-08A-1



TNH-B-08A-2



TNH-B-08A-3



FLOOR PLAN

mdg
MOSER DESIGN GROUP, INC.

326 BROWNS COVE ROAD
SUITE 801
RIDGELAND, SC 29936
(843)379-5630
www.moserdesigngroup.com

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This is an artist's rendering. The final set of construction documents may vary or have been updated from this conceptual design. Please contact Moser Design Group, Inc. if you have any questions.

2BR/2BA
1,117 HTD. SQFT : 10'CLG HT.
1,117 TOTAL HEATED SQFT.
25' WIDE
63' DEEP

TNH-B-08A



Affordable Housing
Place or Topic

TIMING
☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

1,117 sq. ft. Bungalow
Drawing Title

18 Oct 05
Date

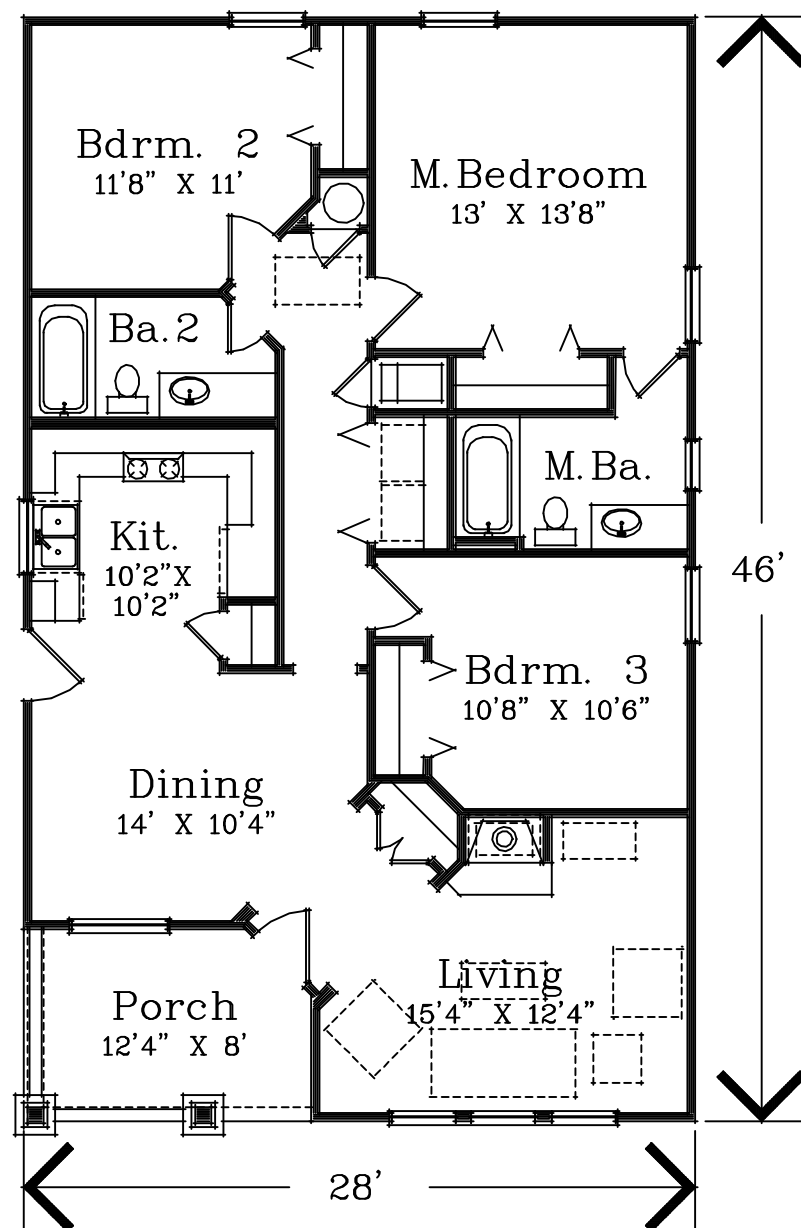
Eric Moser
Name of Contact for Additional Information

ericmoser@moserdesigngroup.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE:

PREVALENCE NEIGHBORHOOD COLLECTION



Floor Plan



Front Elevation

BARRANCO MRF-1196



Affordable Housing

Place or Topic

TIMING

- ☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

1,196 sq. ft. Bungalow

Drawing Title

18 Oct 05

Date

Michael Barranco

Name of Contact for Additional Information

mbarranco@barrancoarc.com

E-mail address

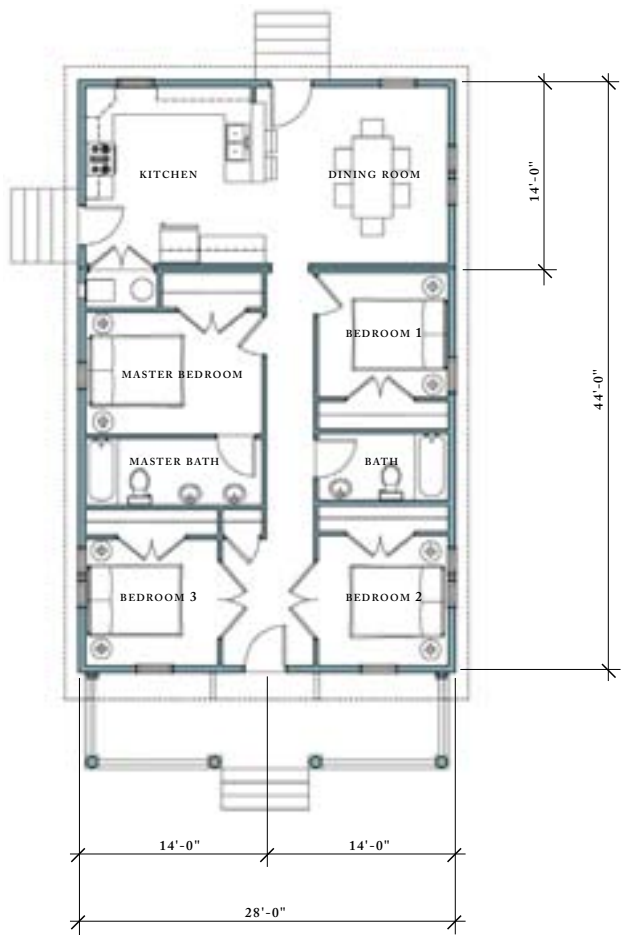
HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This 1,196 sq. ft. bungalow has three bedrooms and two baths and may be modular or panelized construction. The living and dining open onto the front porch that has room for a breakfast table or swing.



FRONT ELEVATION



FLOOR PLAN

SCALE: 1"=8'

28-FOOT GULF COAST "DOUBLEWIDE" COTTAGE (ONE-STORY OPTION)
LAURA ANNE BOSSARDT WELSH AND JEREMY MATTHEW WELSH



Affordable Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

28' Gulf Coast "Doublewide" Cottage
Drawing Title

11 Oct 05
Date

Laura Welsh
Name of Contact for Additional Information

laura.welsh@devlinarchitecture.com
E-mail address

HOUSING TYPE:
☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This is the first in a series of 28' wide cottages that may be constructed as a doublewide manufactured home, or modular construction. This is the 1,232 sq. ft. singl level version.



FRONT ELEVATION



FIRST FLOOR PLAN

SCALE: 1"=8'

28-FOOT GULF COAST "DOUBLEWIDE" COTTAGE
LAURA ANNE BOSSARDT WELSH AND JEREMY MATTHEW WELSH



Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

28' Gulf Coast "Doublewide" Cottage

Drawing Title

11 Oct 05

Date

Laura Welsh

Name of Contact for Additional Information

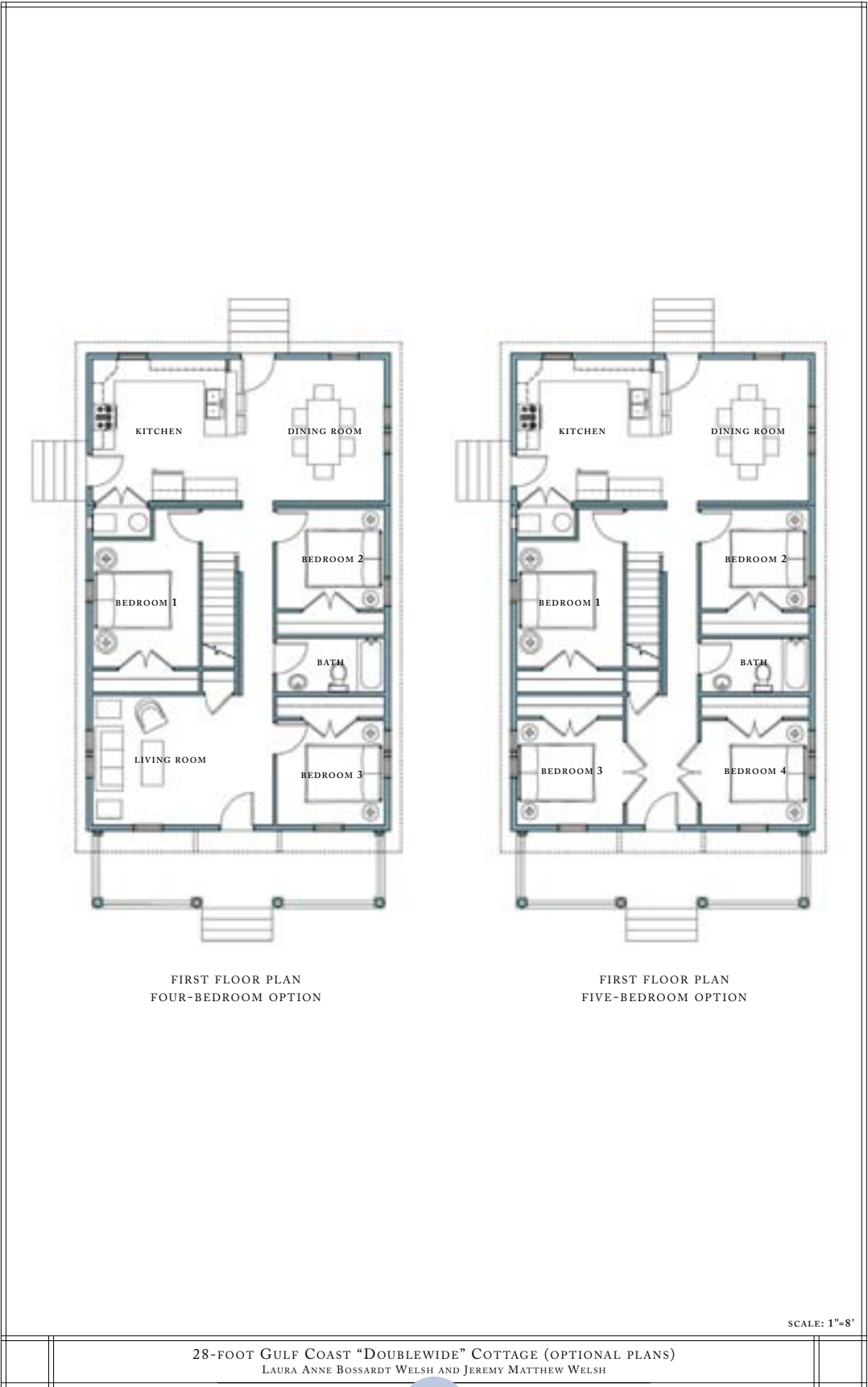
laura.welsh@devlinarchitecture.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☒ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE:



Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

28' Gulf Coast "Doublewide" Cottage

Drawing Title

11 Oct 05

Date

Laura Welsh

Name of Contact for Additional Information

laura.welsh@devlinarchitecture.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☒ Mobile
- ☒ Modular
- ☒ Panelized
- ☒ Stock Plan
- ☐ Custom
- ☐ Commercial

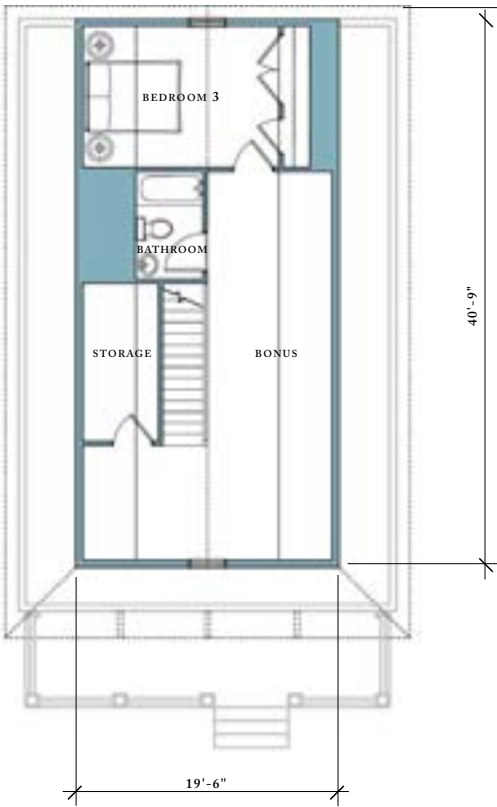
NARRATIVE:



SIDE ELEVATION



SECTION



SECOND FLOOR PLAN

SCALE: 1"=8'

28-FOOT GULF COAST "DOUBLEWIDE" COTTAGE
LAURA ANNE BOSSARDT WELSH AND JEREMY MATTHEW WELSH



Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

28' Gulf Coast "Doublewide" Cottage

Drawing Title

11 Oct 05

Date

Laura Welsh

Name of Contact for Additional Information

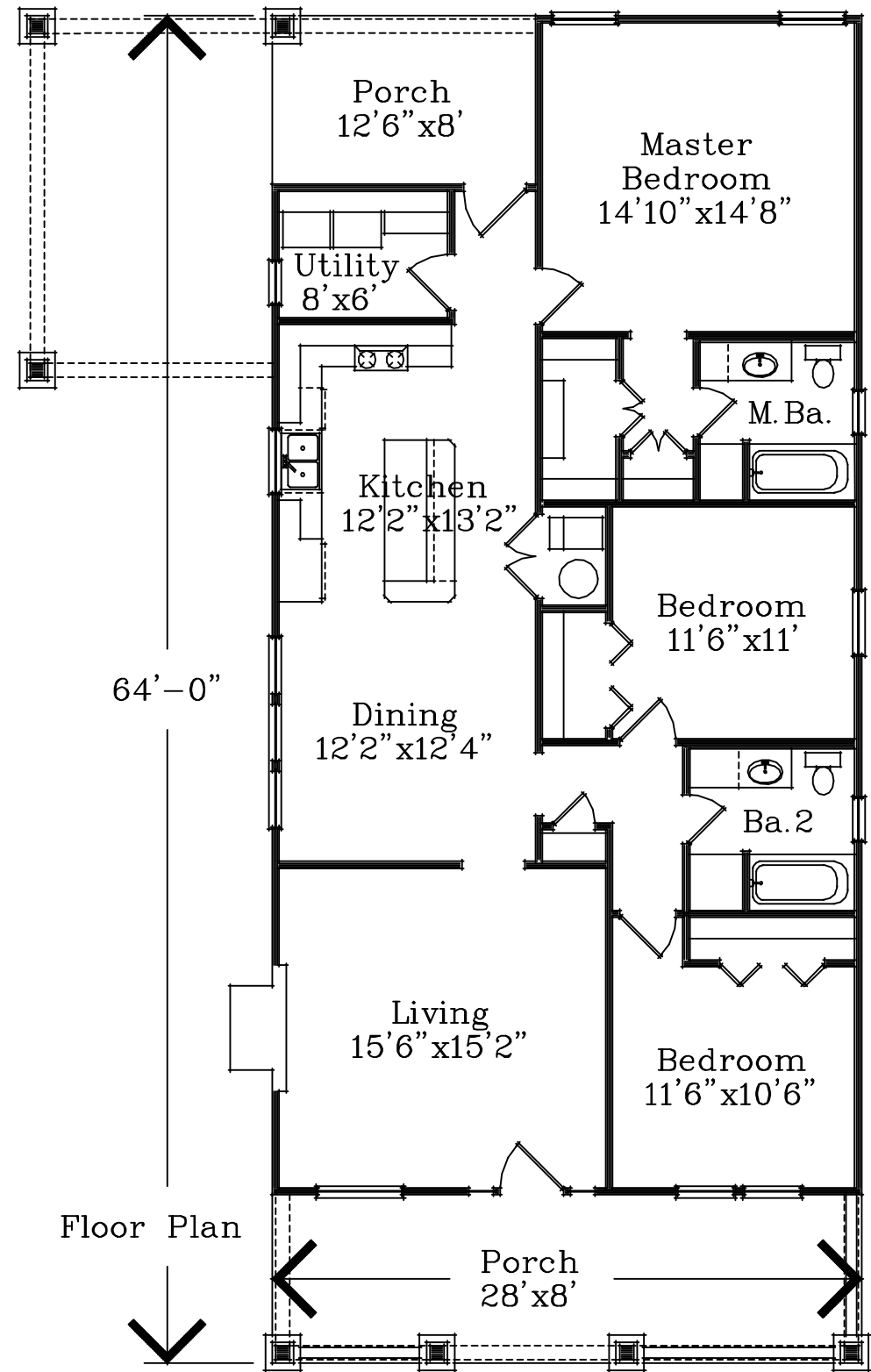
laura.welsh@devlinarchitecture.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☒ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE:



PREVALENCE
NEIGHBORHOOD
COLLECTION



Front Elevation

BARRANCO MRF-1468

Affordable Housing
Place or Topic

TIMING
☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

1,468 sq. ft. Bungalow
Drawing Title

18 Oct 05
Date

Michael Barranco
Name of Contact for Additional Information

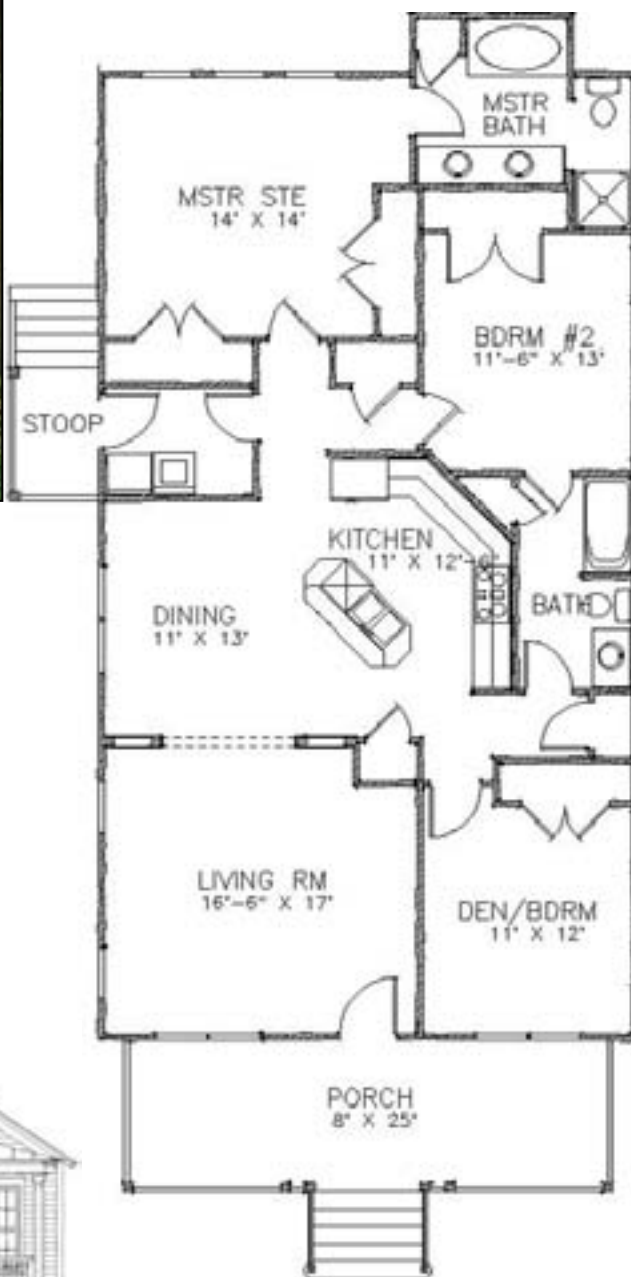
mbarranco@barrancoarc.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: The craftsman details of this bungalow could have been a part of the coastal landscape for 100 years, but it's efficient floorplan is 21st century. The porte cochere opens to the back porch, and has immediate access to the kitchen. The generous front porch almost doubles the useable living space of this 3 bedroom, 2 bath bungalow.



TNH-B-06A-3



FLOOR PLAN



326 BROWNS COVE ROAD
SUITE 801
RIDGELAND, SC 29936
(843)379-5630

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TNH-B-06A-1

3BR/2BA

1,471 HTD. SQFT : 9' CLG HT.

1,471 TOTAL HEATED SQFT.

33' WIDE
62' DEEP

TNH-B-06A**MISSISSIPPI**
RENEWAL FORUMGOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWALCNU CONVENOR FOR THE
NEW ORLEANS

Affordable Housing

Place or Topic

TIMING

- ☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

1,471 sq. ft. Bungalow

Drawing Title

18 Oct 05

Date

Eric Moser

Name of Contact for Additional Information

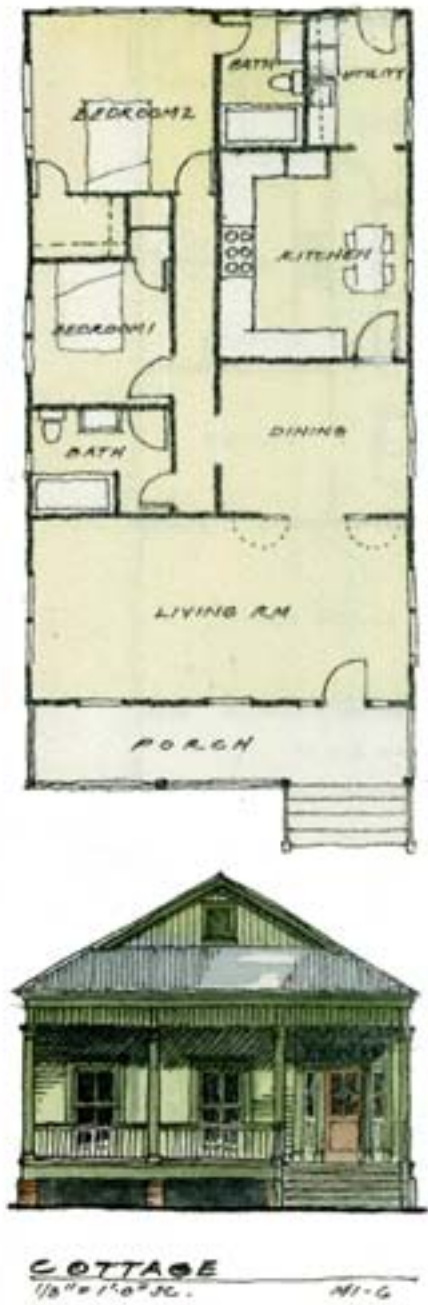
ericmoser@moserdesigngroup.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE:



Affordable Housing
Place or Topic

TIMING
☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

1,568 sq. ft. Cottage
Drawing Title

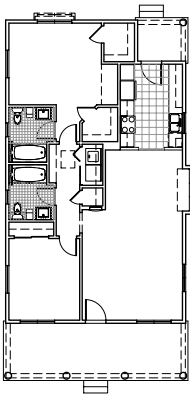
18 Oct 05
Date

Michael Imber
Name of Contact for Additional Information

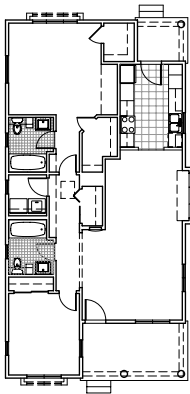
mail@michaelgimber.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

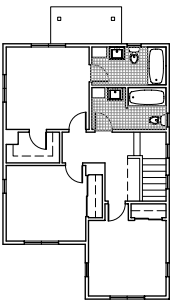
NARRATIVE: This 2 bedroom, 2 bath cottage may be built with a number of technologies for speed and affordability. It features a generous living room, formal dining room, and eat-in kitchen.



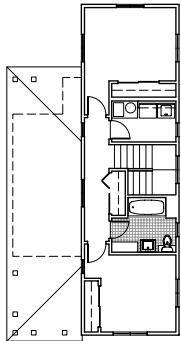
FIRST FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



SECOND FLOOR PLAN



ELEVATION - OPTION C



ELEVATION - OPTION B



ELEVATION - OPTION A

PALMETTO A
2 BR / 2 BA
1,010 SF

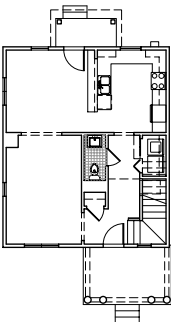


ELEVATION - OPTION B



ELEVATION - OPTION A

PALMETTO B
2 BR / 2 BA
1,110 SF

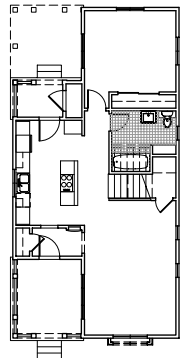


FIRST FLOOR PLAN



ELEVATION

MAGNOLIA
3 BR / 2.5 BA
1,488 SF

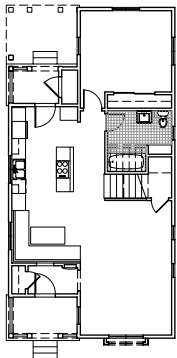


FIRST FLOOR PLAN - OPTION A



ELEVATION

CHESTNUT A
3 BR / 2 BA
1,570 SF



FIRST FLOOR PLAN - OPTION B
(3 BR / 2 BA - 1,640 SF)

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GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONGRESS FOR THE
NEW URBANISM

Affordable Housing

Place or Topic

TIMING

- ☒ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Modular Series

Drawing Title

18 Oct 05

Date

R. John Anderson

Name of Contact for Additional Information

janderson@newurbanbuilders.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: These houses are ideal for either modular or site-built construction and range from 1,010 sq. ft. to 1,570 sq. ft.

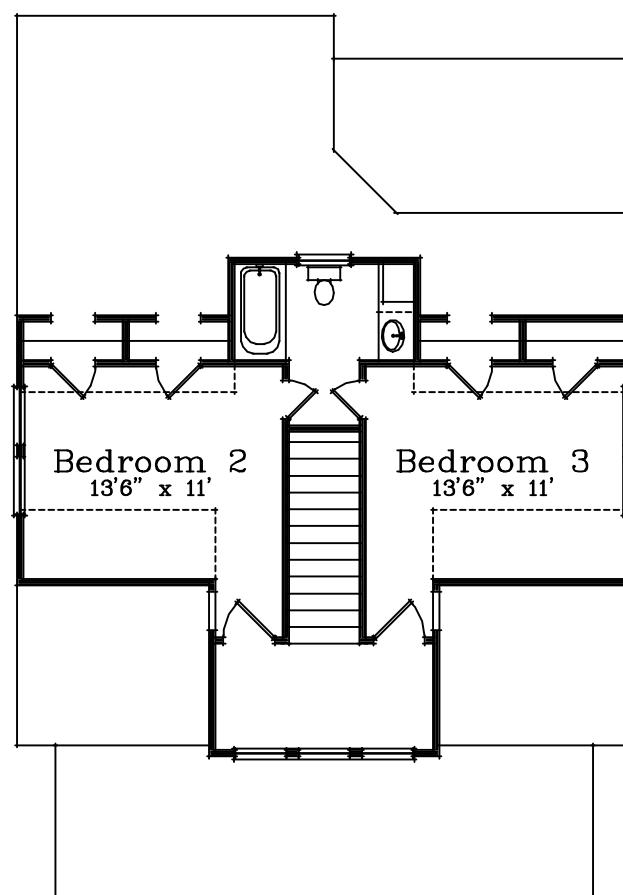
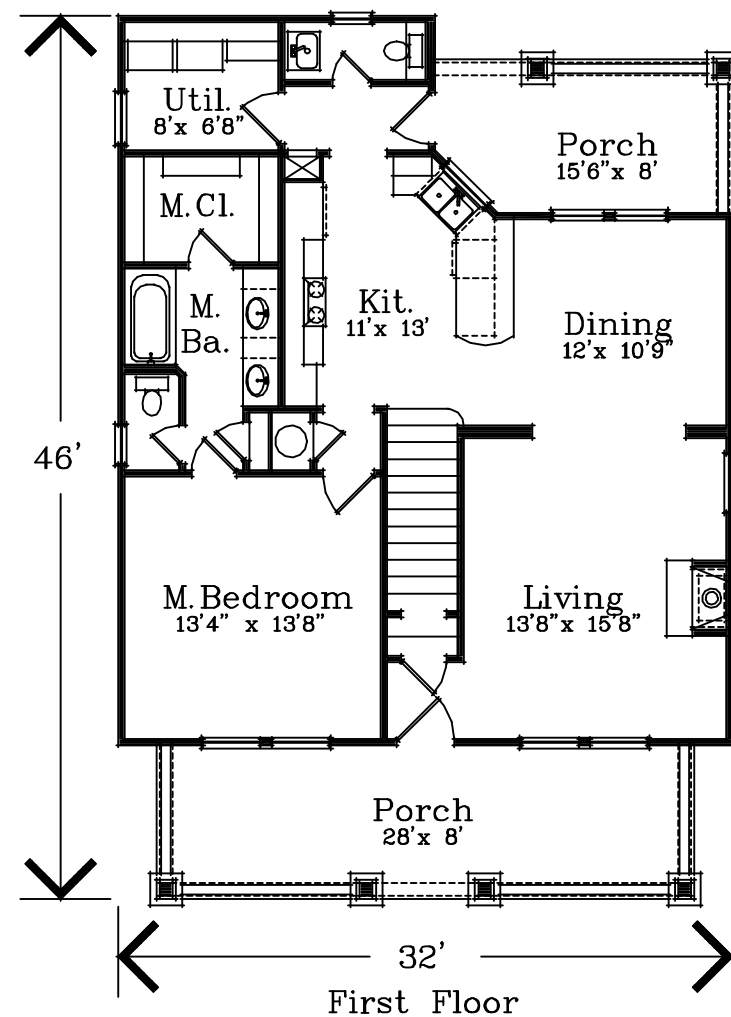
WESTSIDE PRODUCT LINE / DETACHED

September 7, 2005
\\nub-server\Company\PRODUCT DEVELOPMENT\SD\PRODUCT\COMPOSITE\WESTSIDE.dwg

360 East 6th Street, Chico, California 95928
(530) 893-8400 v (530) 893-8985 f
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PREVALENCE NEIGHBORHOOD COLLECTION



Front Elevation

BARRANCO MRF-1610



Affordable Housing

Place or Topic

TIMING

- ☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

1,610 sq. ft. Bungalow

Drawing Title

18 Oct 05

Date

Michael Barranco

Name of Contact for Additional Information

mbarranco@barrancoarc.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This center stair bungalow has a master down and two bedrooms up as well as two full baths and a powder room. The living, dining, and kitchen are generous and open. Both the front and back porches are 8' deep, allowing them to be furnished as outdoor rooms.



Affordable Housing

Place or Topic

TIMING

- ☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

1,972 sq. ft. Creole Cottage

Drawing Title

03 Oct 05

Date

Lew Oliver

Name of Contact for Additional Information

arch60@bellsouth.net

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: This compact Creole Cottage is right at home on the Gulf Coast. The generous front porch is suitable for dining, and the master suite is located on the main level. An office or children's living area is located upstairs with the two other bedrooms.



SERIES 7
CREOLE COTTAGE
FOOT PRINT 24' X 73'

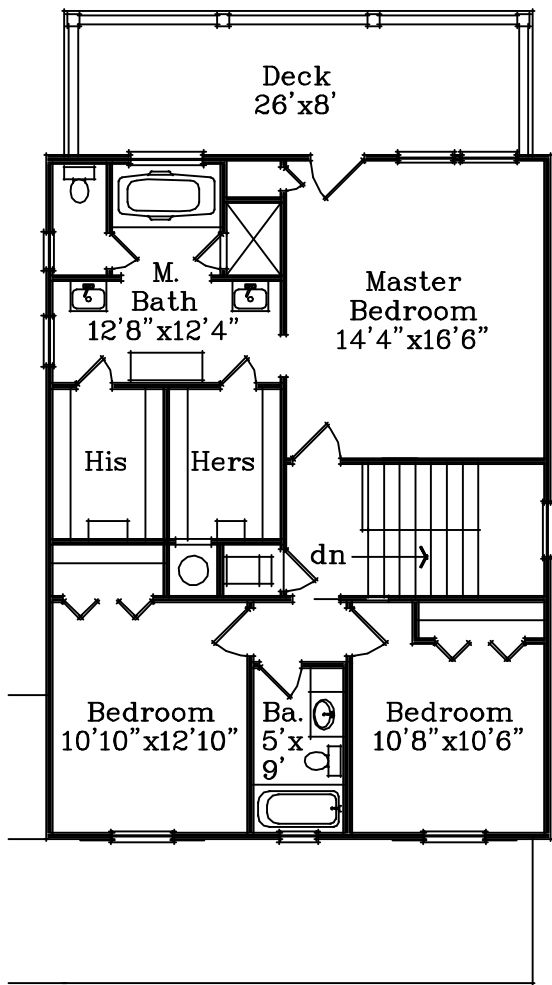
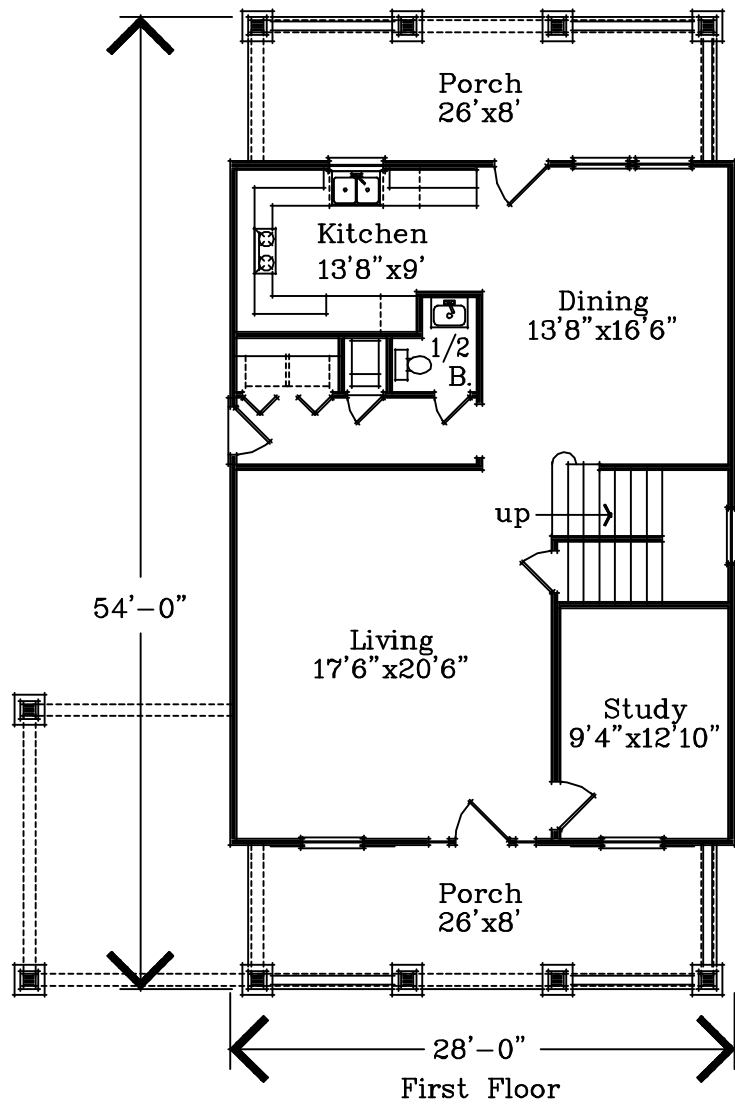




PREVALENCE

NEIGHBORHOOD

COLLECTION



Front Elevation

Second Floor

First Floor

Affordable Housing

Place or Topic

TIMING

☐ Immediate

☒ Medium Term

☒ Long Term

IMPLEMENTATION THROUGH

☒ Design

☐ Policy

☐ Management

2,056 sq. ft. Foursquare

Drawing Title

18 Oct 05

Date

Michael Barranco

Name of Contact for Additional Information

mbarranco@barrancoarc.com

E-mail address

HOUSING TYPE:

☐ Temporary

☐ Mobile

☐ Modular

☒ Panelized

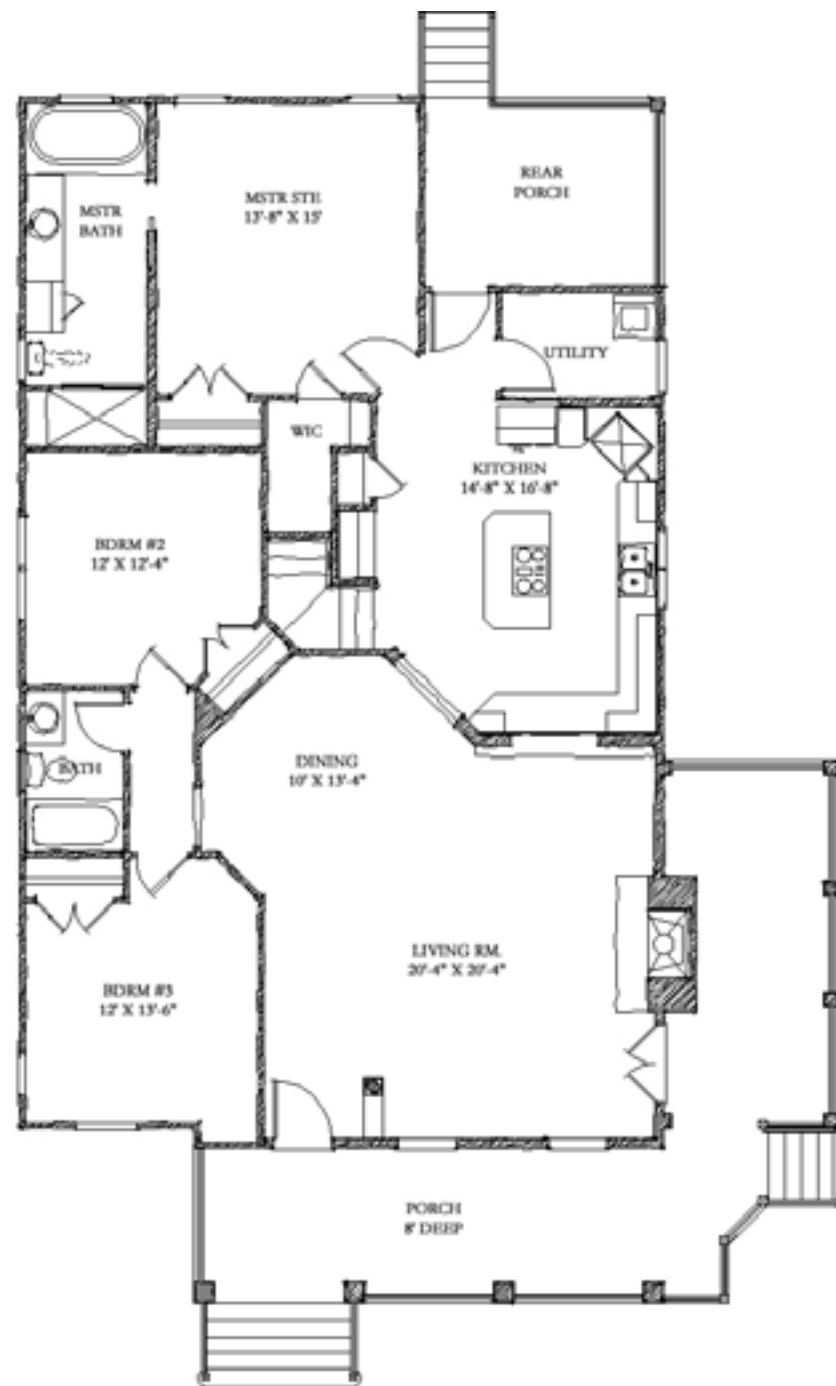
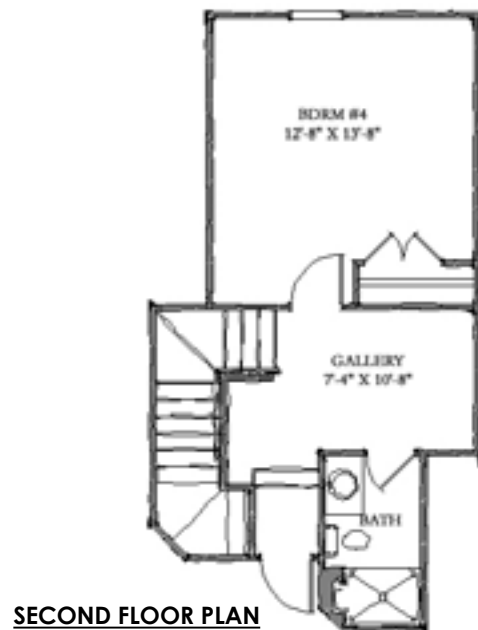
☒ Stock Plan

☐ Custom

☐ Commercial

NARRATIVE: The traditional Foursquare elevation of this house clothes a very open floor plan. The three bedrooms and two full baths are upstairs, and a powder room is on the first level. The attic dormer and stair configuration make it possible to expand into the attic for more space. The study's window could become a door to the porch for a live/work house.

BARRANCO MRF-2056



326 BROWNS COVE ROAD
SUITE 801
RIDGELAND, SC 29936
(843)379-5630

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TNH-B-02A-1

4BR/3BA
DOWNSTAIRS MASTER SUITE

1,667 HTD. SQFT 1ST FLR:
11' CLG HT. IN LIVING,
9' CLG HT ELSEWHERE
399 HTD. SQFT 2ND FLR:
7'-9" SLOPING CLG HT.

2,066 TOTAL HEATED SQFT.

42'-2" WIDE
62' DEEP

TNH-B-02A

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RECOVERY, REBUILDING, RENEWAL

CNU CONVENOR FOR THE
NEW URBANISM

Affordable Housing

Place or Topic

TIMING

- ☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

2,066 sq. ft. House

Drawing Title

18 Oct 05

Date

Eric Moser

Name of Contact for Additional Information

ericmoser@moserdesigngroup.com

E-mail address

HOUSING TYPE:

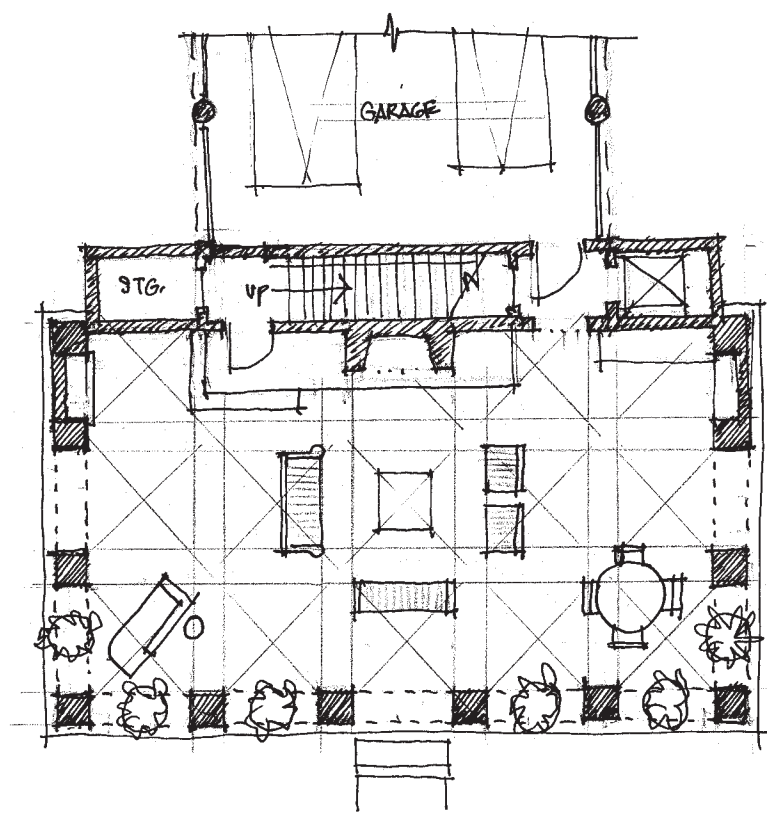
- ☐ Temporary
☐ Mobile
☐ Modular
☒ Panelized
☒ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE:

CHAPTER 3

★VELOCITY ZONE HOUSING★





Velocity Zone Housing
Place or Topic

TIMING
☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Raised Cottage
Drawing Title

18 Oct 05
Date

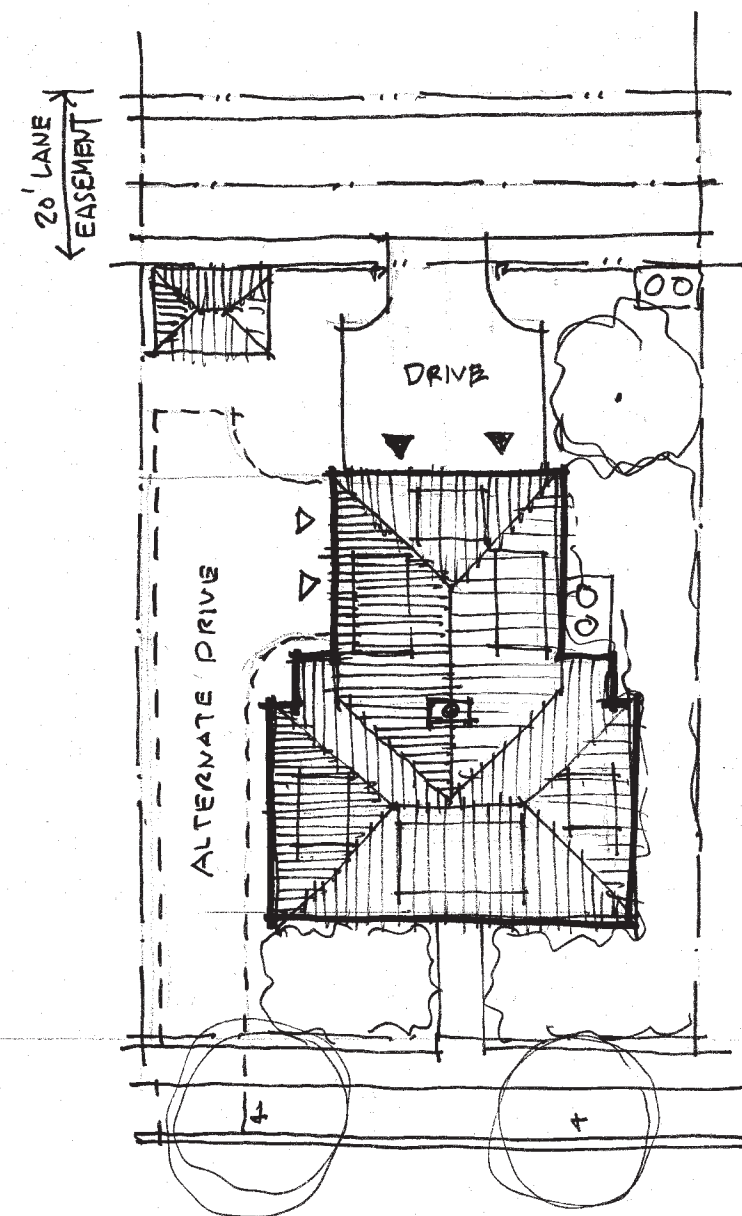
Gary William Justiss
Name of Contact for Additional Information

gwjustiss@aol.com
E-mail address

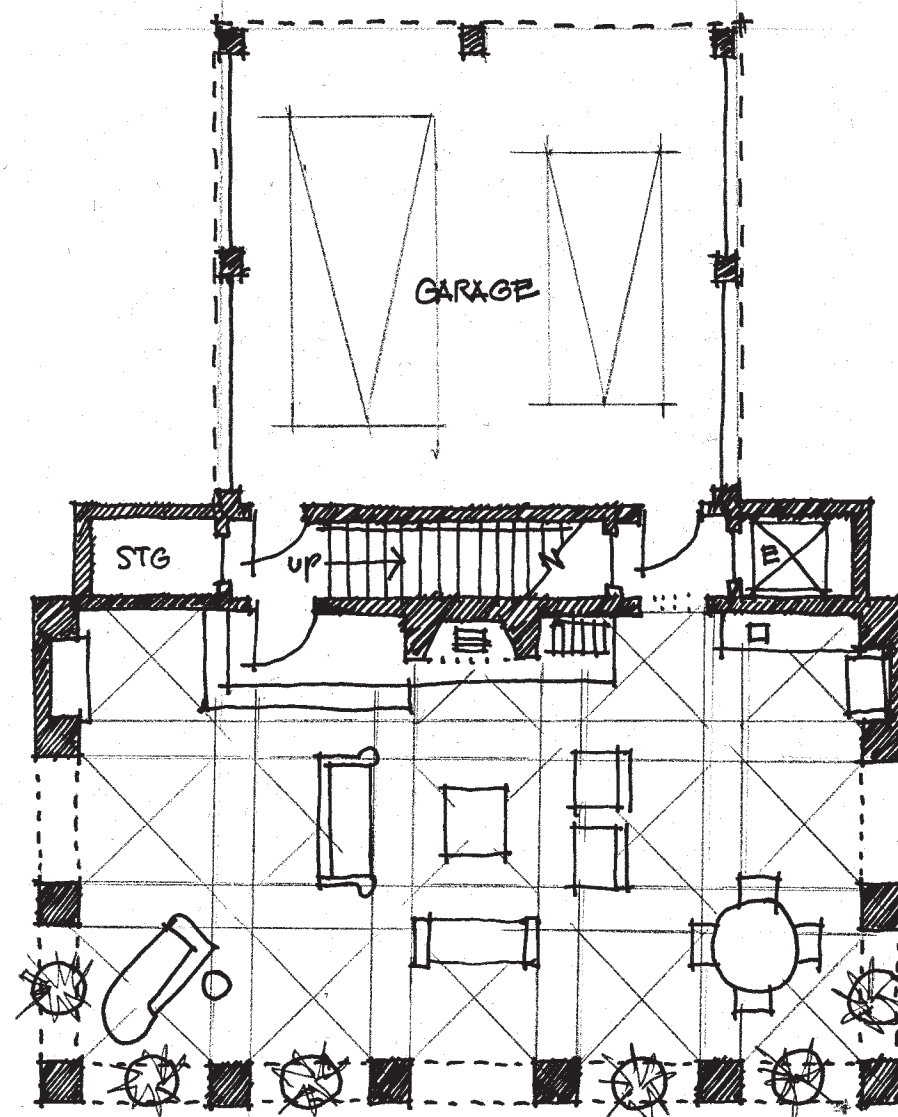
HOUSING TYPE:
☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: Home design showing the concept of using the area below a home in a FEMA V Zone for parking and entry loggia.

10-13-05 GARY WILLIAM JUSTISS - RAISED COTTAGE w/ UNDER PORCH - 1/8" SC.



SITE PLAN



LOWER LEVEL



Velocity Zone Housing

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Raised Cottage

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

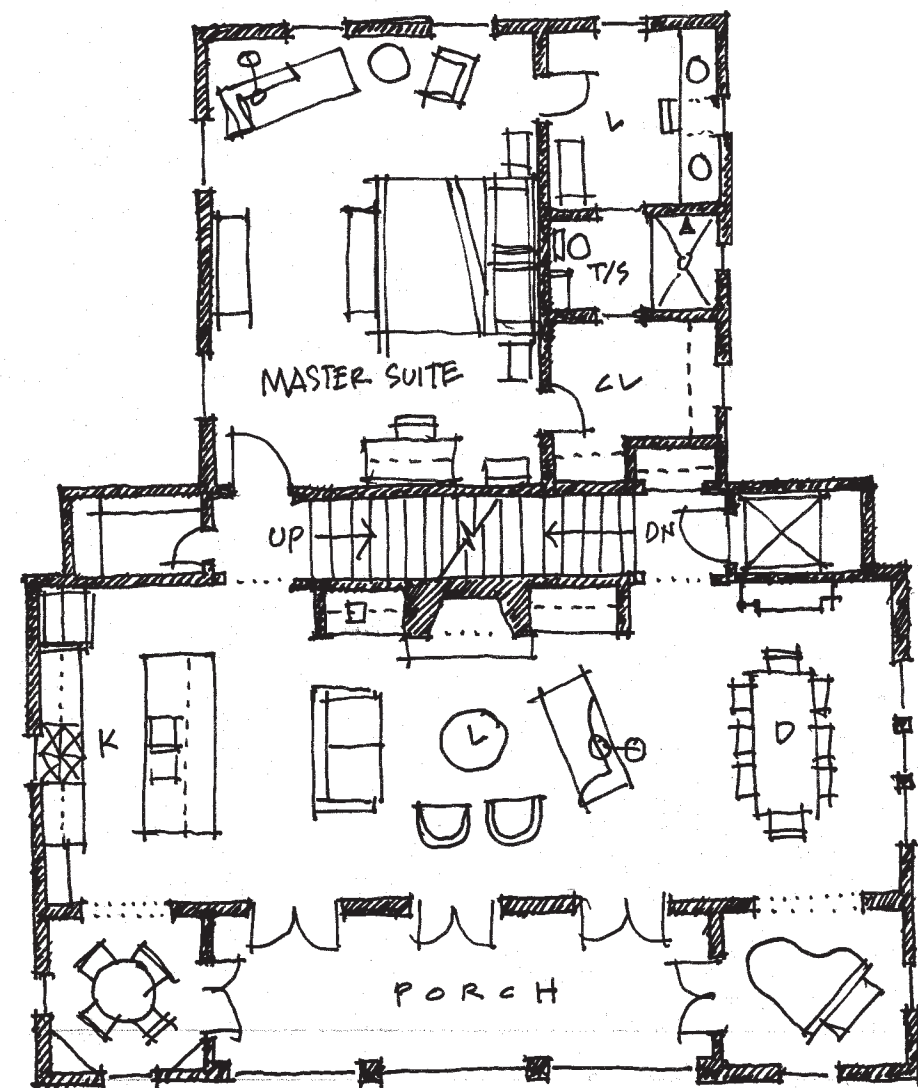
gwjustiss@aol.com

E-mail address

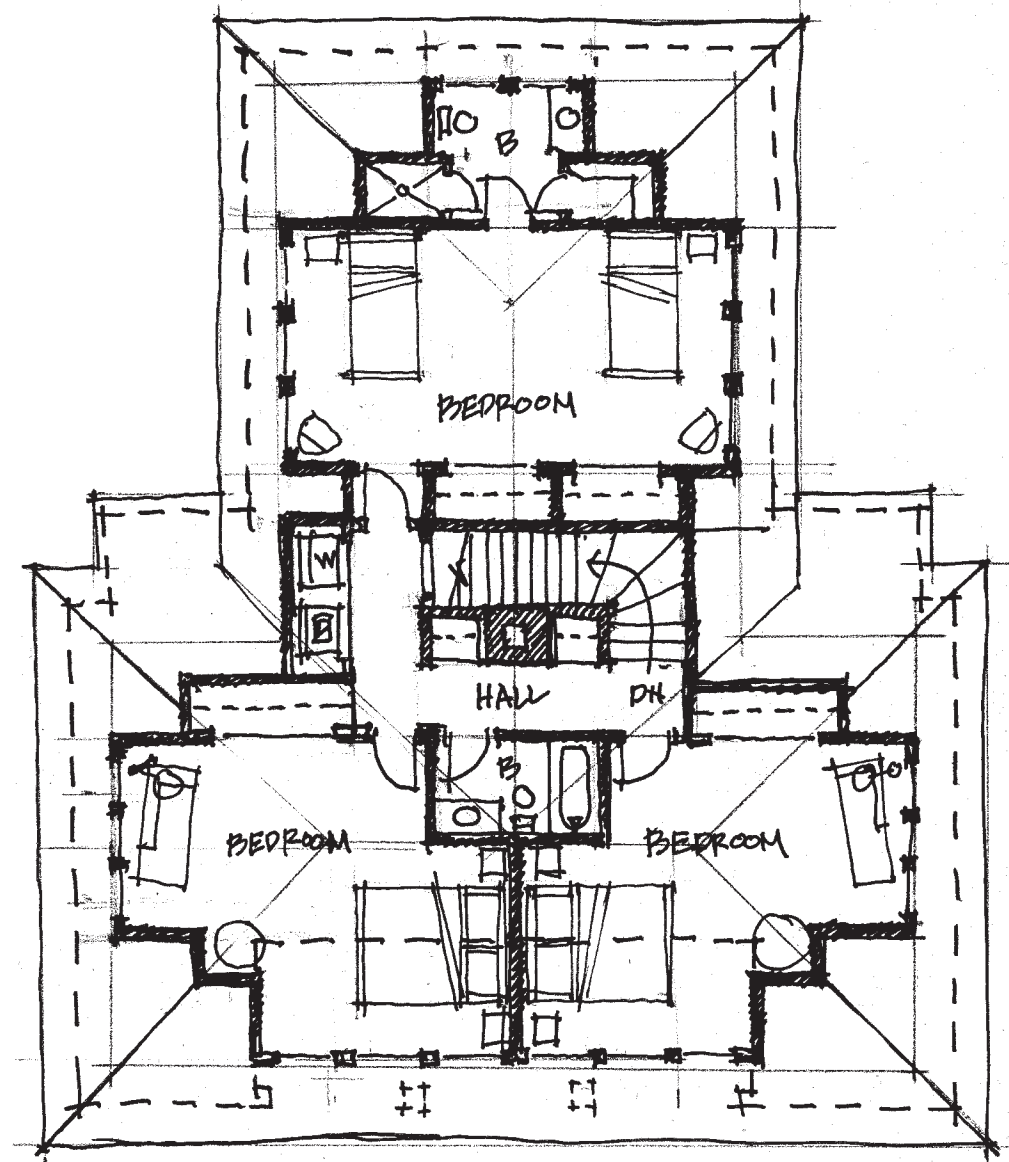
HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: Home design showing the concept of using the area below a home in a FEMA V Zone for parking and entry loggia.



MAIN LEVEL



UPPER LEVEL

GWJ01
TIER 5-6
HURRICANE DURABLE



Velocity Zone Housing
Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Raised Cottage

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

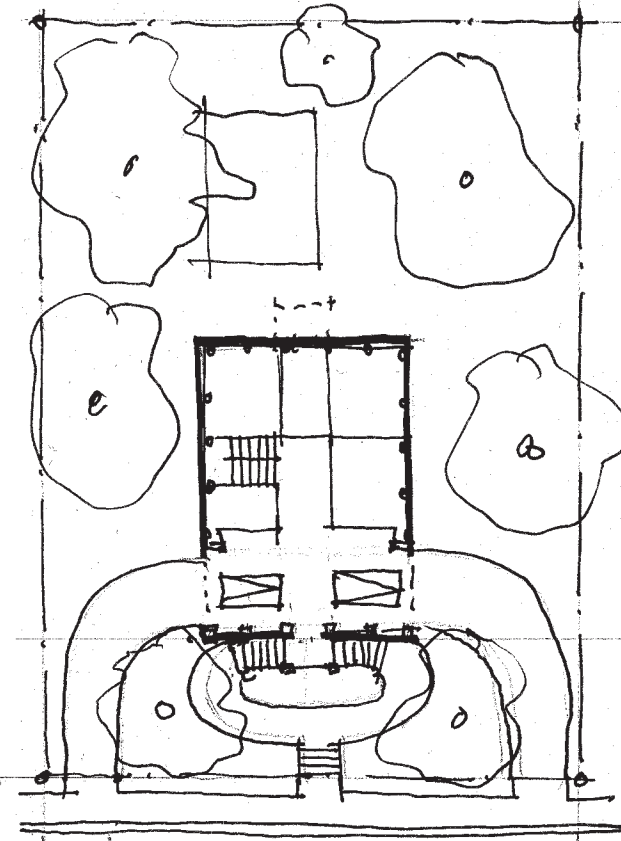
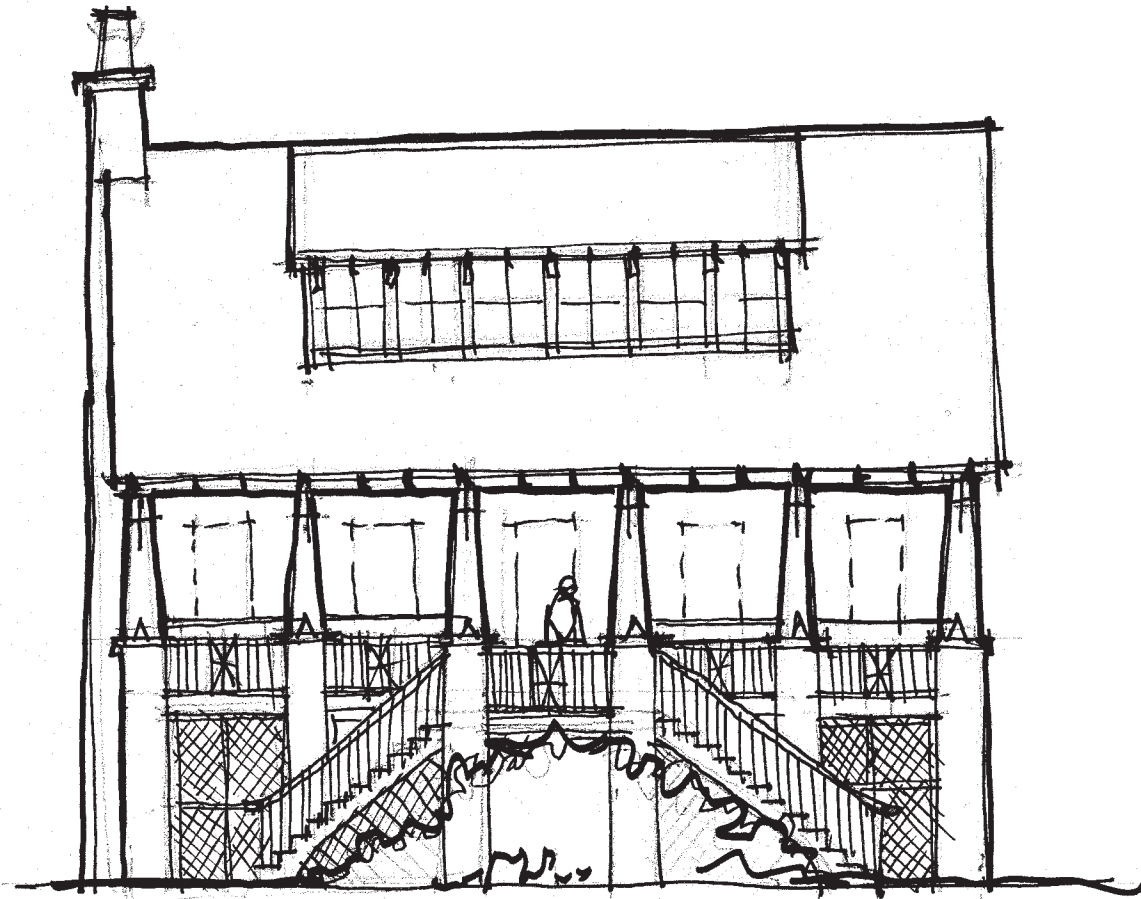
gwjustiss@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: Home design showing the concept of using the area below a home in a FEMA V Zone for parking and entry loggia.



GARY WILLIAM JUSTISS - RAISED COTTAGE w/ PARKING UNDER FRONT PORCH - 1/8" = 1' / 1/32" = 1'

MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONGRESS FOR THE
NEW ORLEANS

Velocity Zone Housing

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Raised Cottage

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

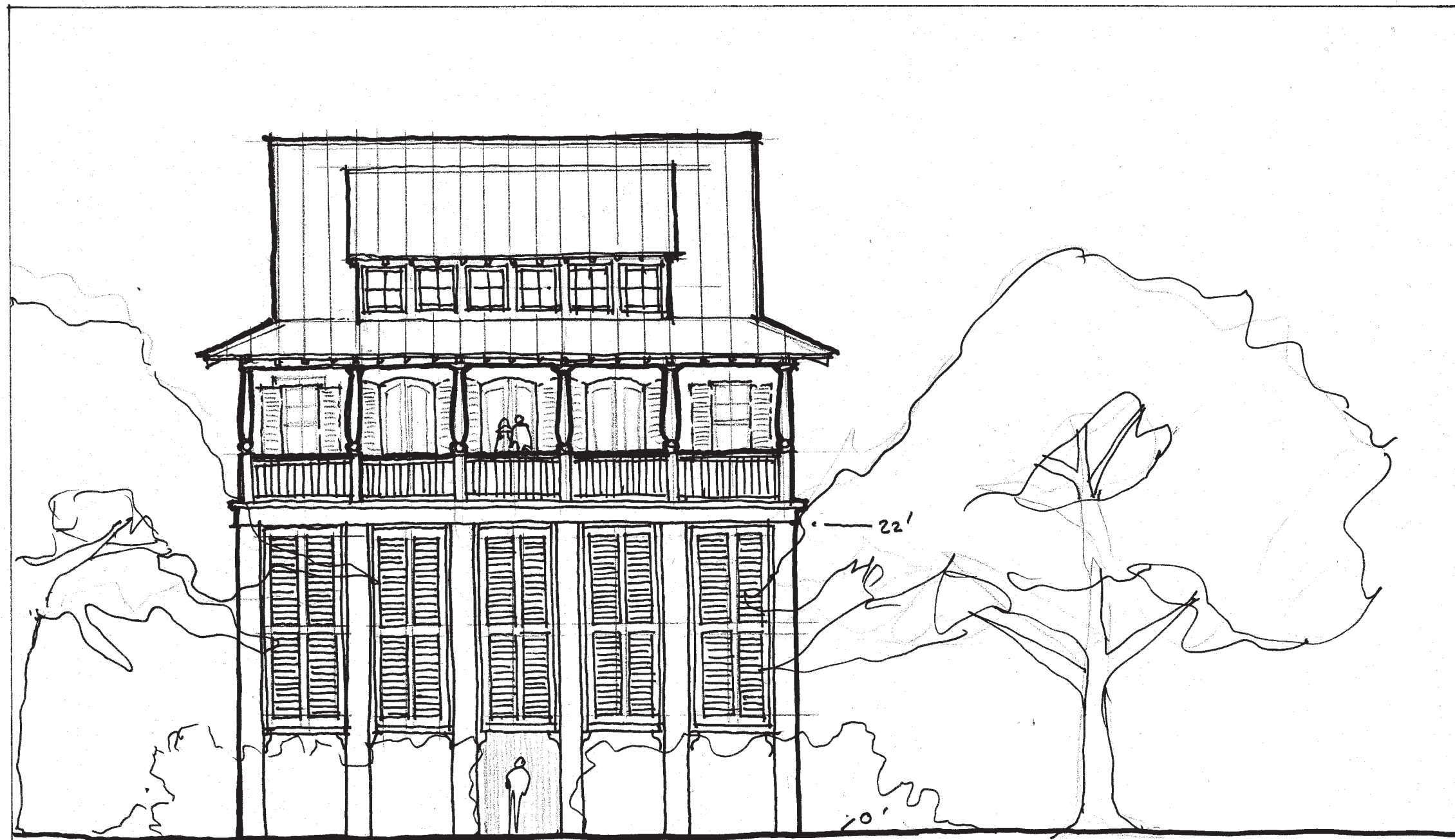
gwjustiss@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: Home design showing the concept of using the area below a home in a FEMA V Zone for parking and entry loggia.



ELEVATED COTTAGE

GWJ02 - SC: 1/8"
ELEVATED COTTAGE STUDY

MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONVENOR FOR THE
NEW ORLEANS

Velocity Zone Housing

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Elevated Cottage

Drawing Title

18 Oct 05

Date

Gary William Justiss

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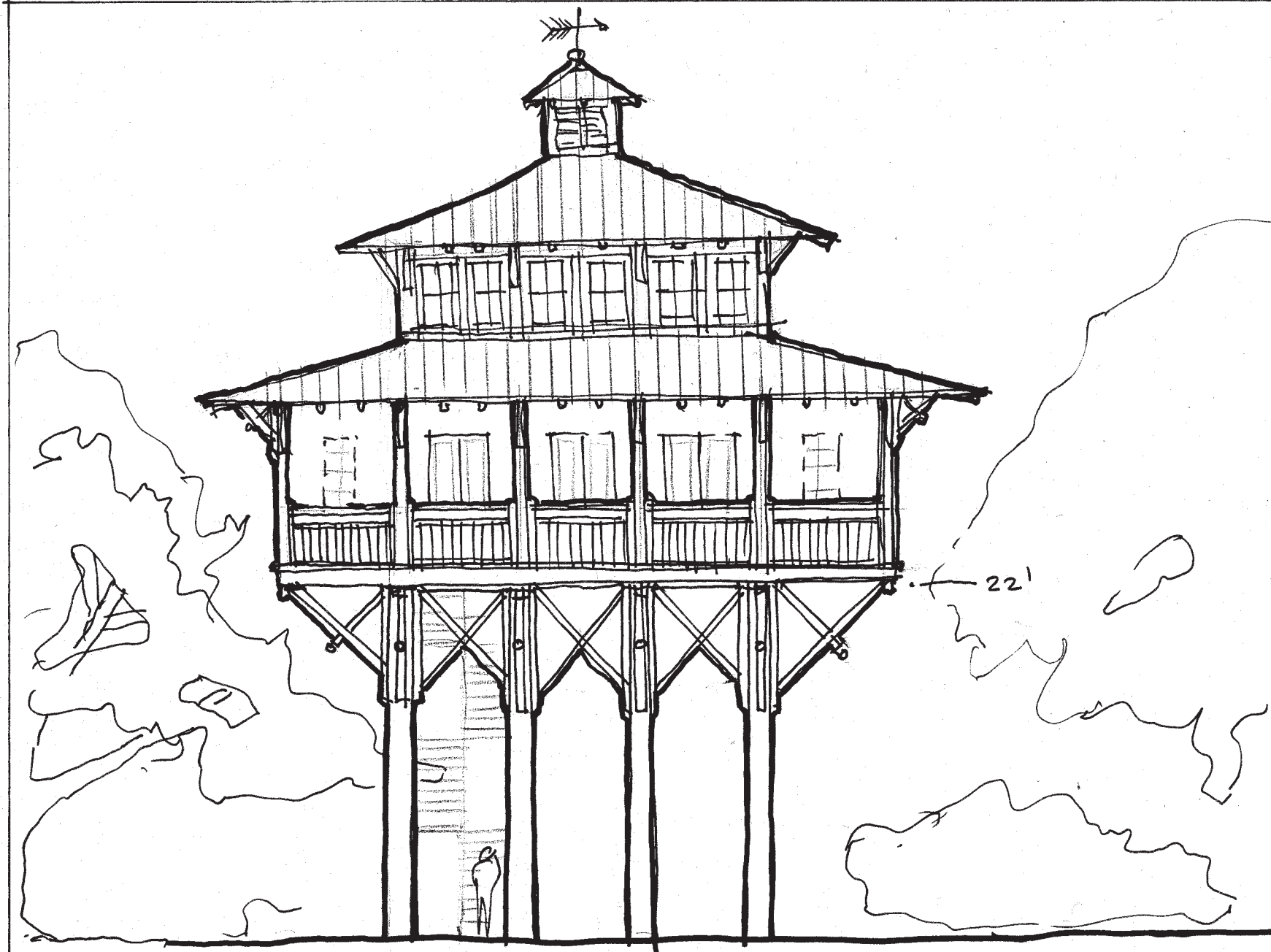
gwjustiss@aol.com

E-mail address

HOUSING TYPE:

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☐ Panelized
☐ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: Several studies for cottages radically elevated to meet new FEMA flood elevation in low lying coastal areas.



ELEVATED COTTAGE #2

GWJ03 - 1/8" scale
ELEVATED COTTAGE STUDY

MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONGRESS FOR THE
NEW ORLEANS

Velocity Zone Housing

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Elevated Cottage

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

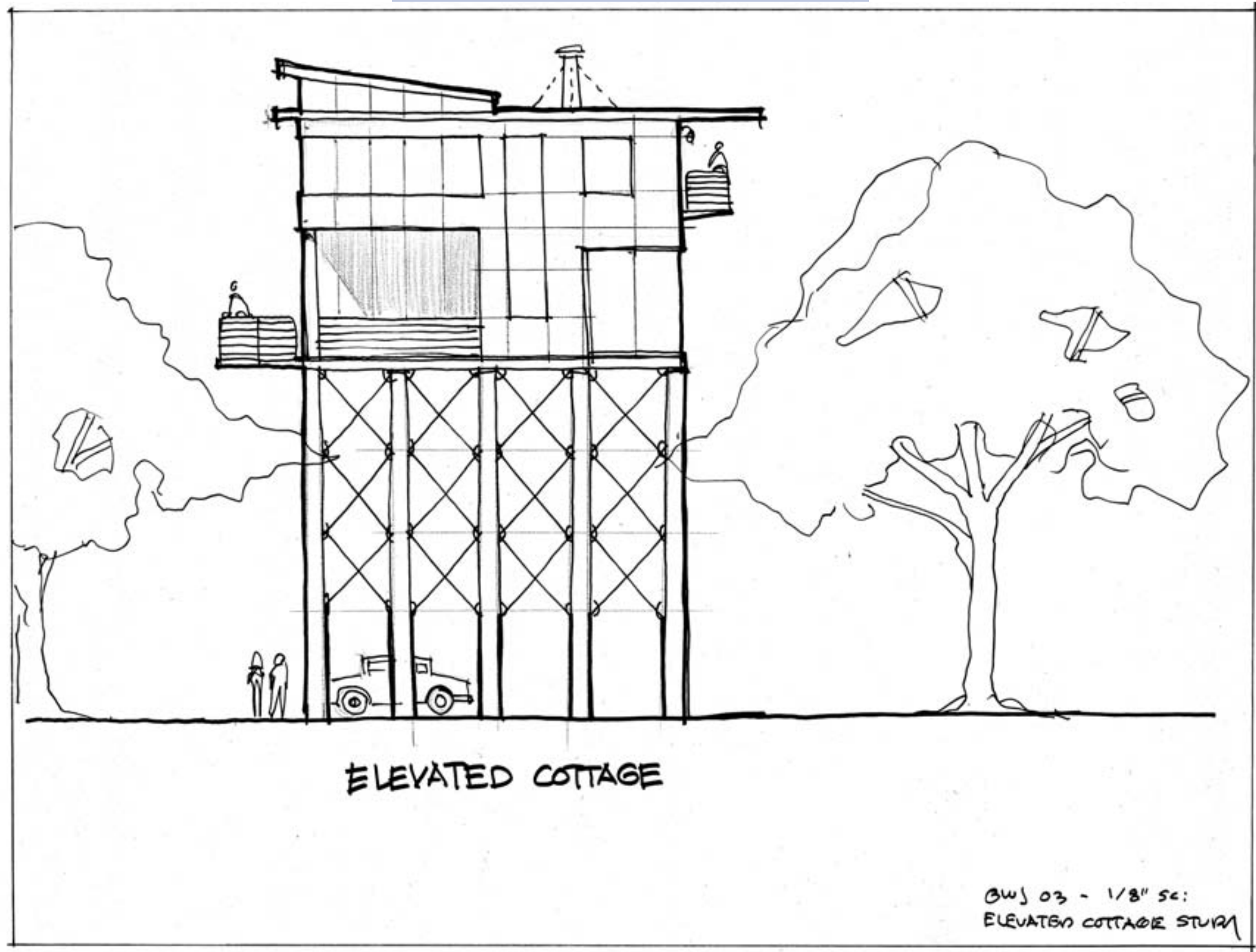
gwjustiss@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: Several studies for cottages radically elevated to meet new FEMA flood elevation in low lying coastal areas.



Velocity Zone Housing
Place or Topic

TIMING
☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Elevated Cottage
Drawing Title

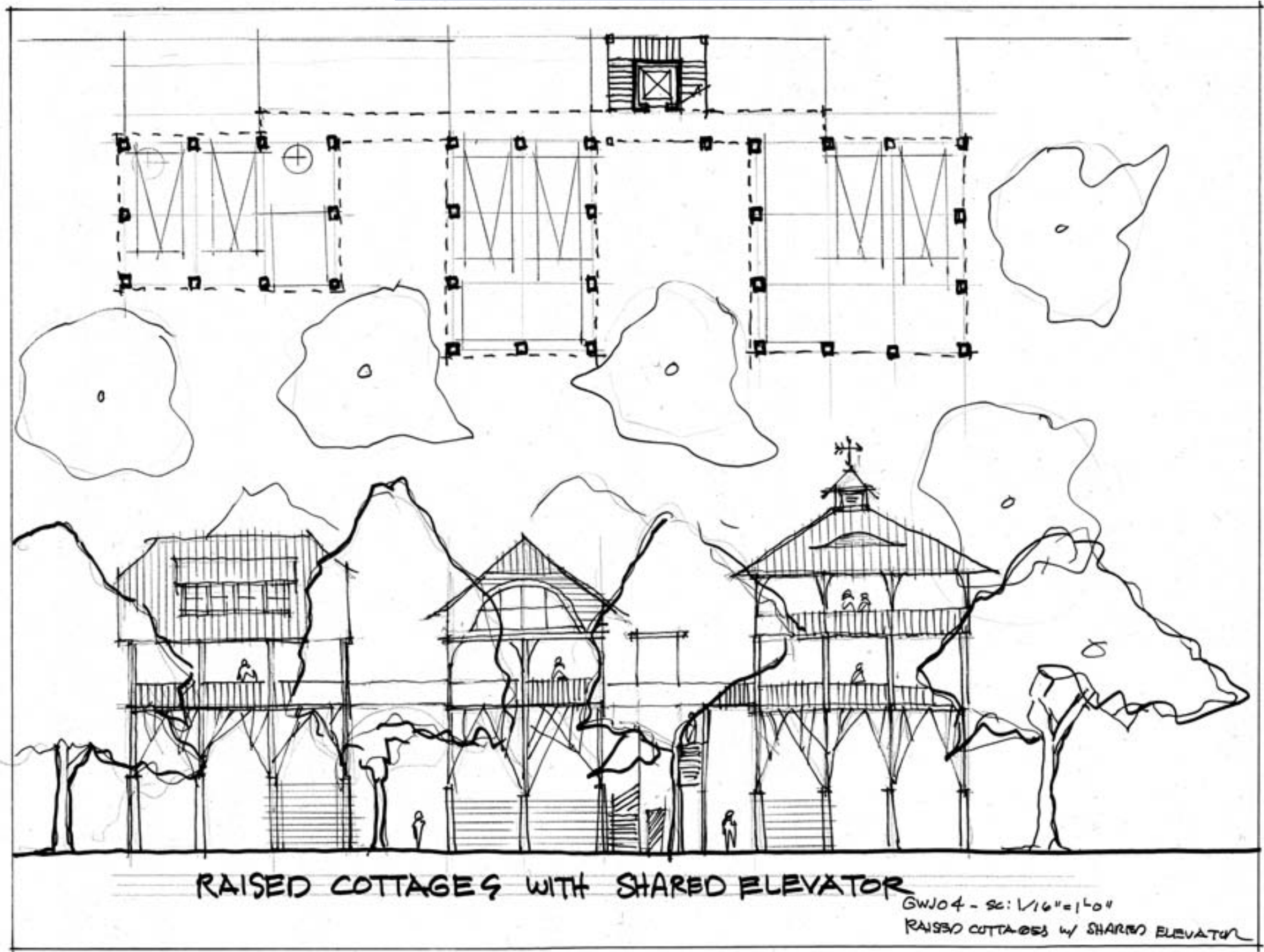
18 Oct 05
Date

Gary William Justiss
Name of Contact for Additional Information

gwjustiss@aol.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: Several studies for cottages radically elevated to meet new FEMA flood elevation in low lying coastal areas.



Velocity Zone Housing
Place or Topic

TIMING
☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Elevated Cottage
Drawing Title

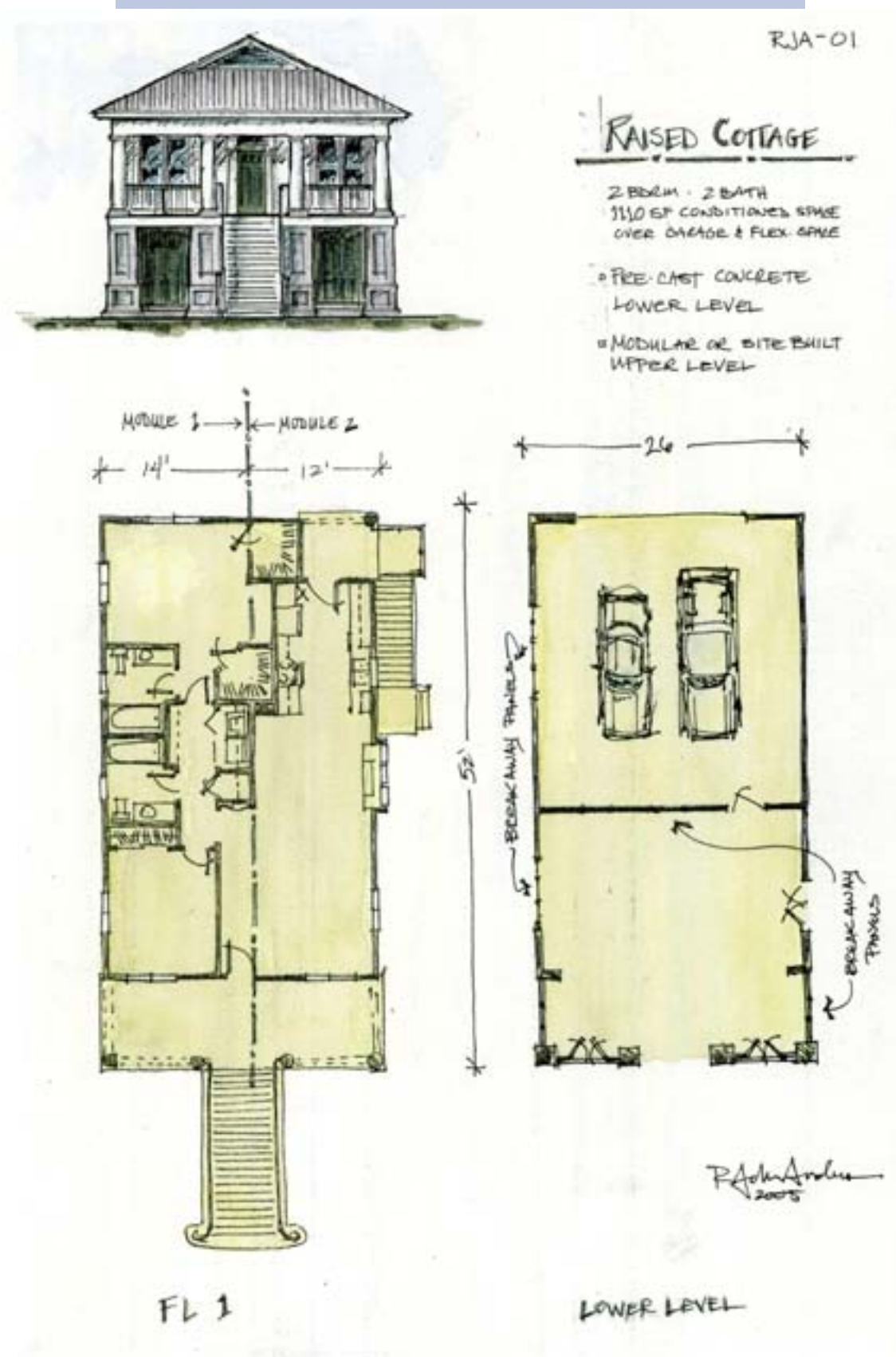
18 Oct 05
Date

Gary William Justiss
Name of Contact for Additional Information

gwjustiss@aol.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: Several studies for cottages radically elevated to meet new FEMA flood elevation in low lying coastal areas.



Velocity Zone Housing

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Raised Cottage

Drawing Title

18 Oct 05

Date

R. John Anderson

Name of Contact for Additional Information

janderson@newurbanbuilders.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☒ Modular
☒ Panelized
☐ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: Two bedroom, 2 bath 1,110 sq. ft. cottage over garage and flex space below. This plan is suitable for some FEMA velocity zones and may be modular or site-built.



Velocity Zone Housing
Place or Topic

- TIMING
- ☐ Immediate
 - ☐ Medium Term
 - ☒ Long Term

- IMPLEMENTATION THROUGH
- ☒ Design
 - ☐ Policy
 - ☐ Management

Raised Cottage
Drawing Title

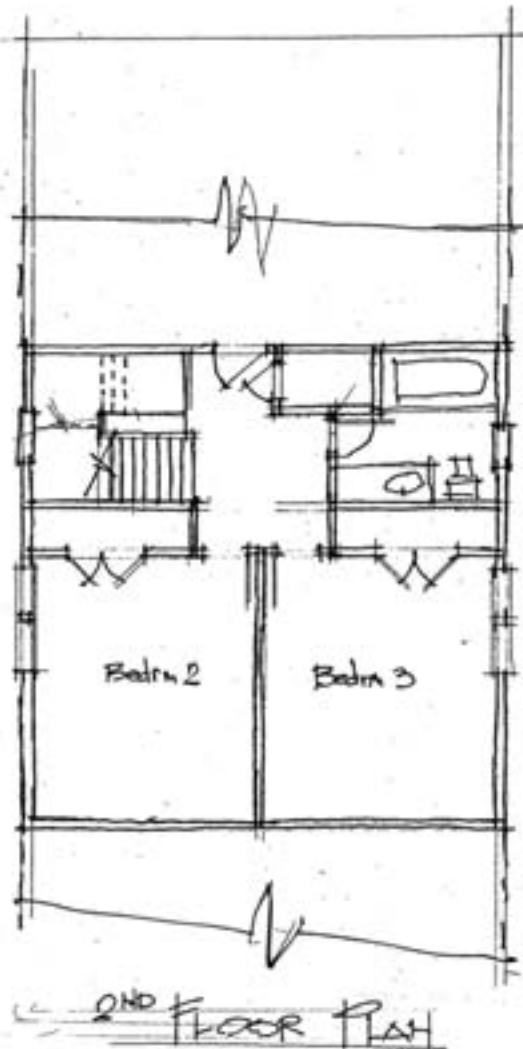
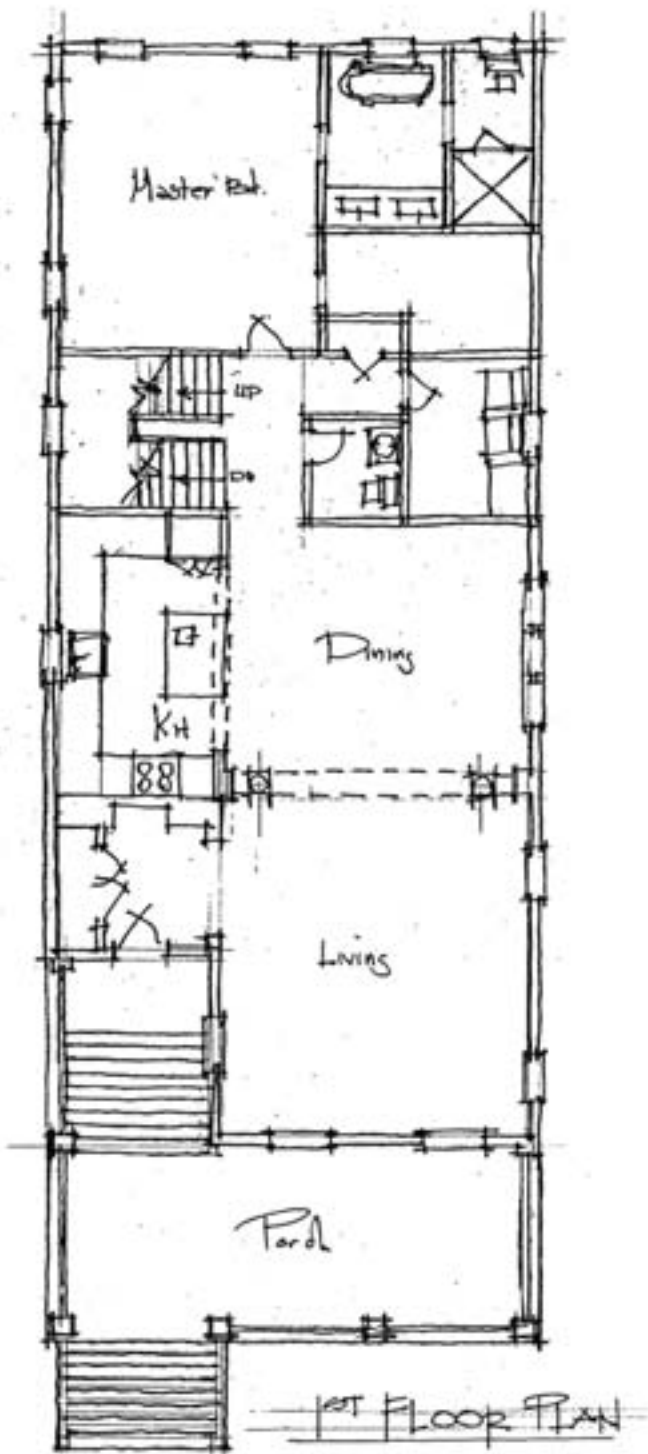
18 Oct 05
Date

Eric Moser
Name of Contact for Additional Information

ericmoser@moserdesigngroup.com
E-mail address

- HOUSING TYPE:
- ☐ Temporary
 - ☐ Mobile
 - ☐ Modular
 - ☐ Panelized
 - ☐ Stock Plan
 - ☒ Custom
 - ☐ Commercial

NARRATIVE: Three bedroom, 2-1/2 bath cottage. The porch is at the usually height of 3' - 3'6", and a second set of stairs ascend to a stoop at the required finish floor elevation for FEMA advisory standards.





Velocity Zone Housing

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Townhouse Elevation

Drawing Title

18 Oct 05

Date

Eric Moser

Name of Contact for Additional Information

ericmoser@moserdesigngroup.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: Townhouse elevation study with front porches respectful of the neighborhood scale. Appropriate for T4 or T5. This prototype could work in all A zones as well as some of the lower elevation velocity zones.



Townhouse P/DG
5'-24' UNITS
1/8" = 1'-0"
ERIC MOSER EM3



Velocity Zone Housing

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Long Beach Apartment Building

Drawing Title

18 Oct 05

Date

Christine G. H. Franck

Name of Contact for Additional Information

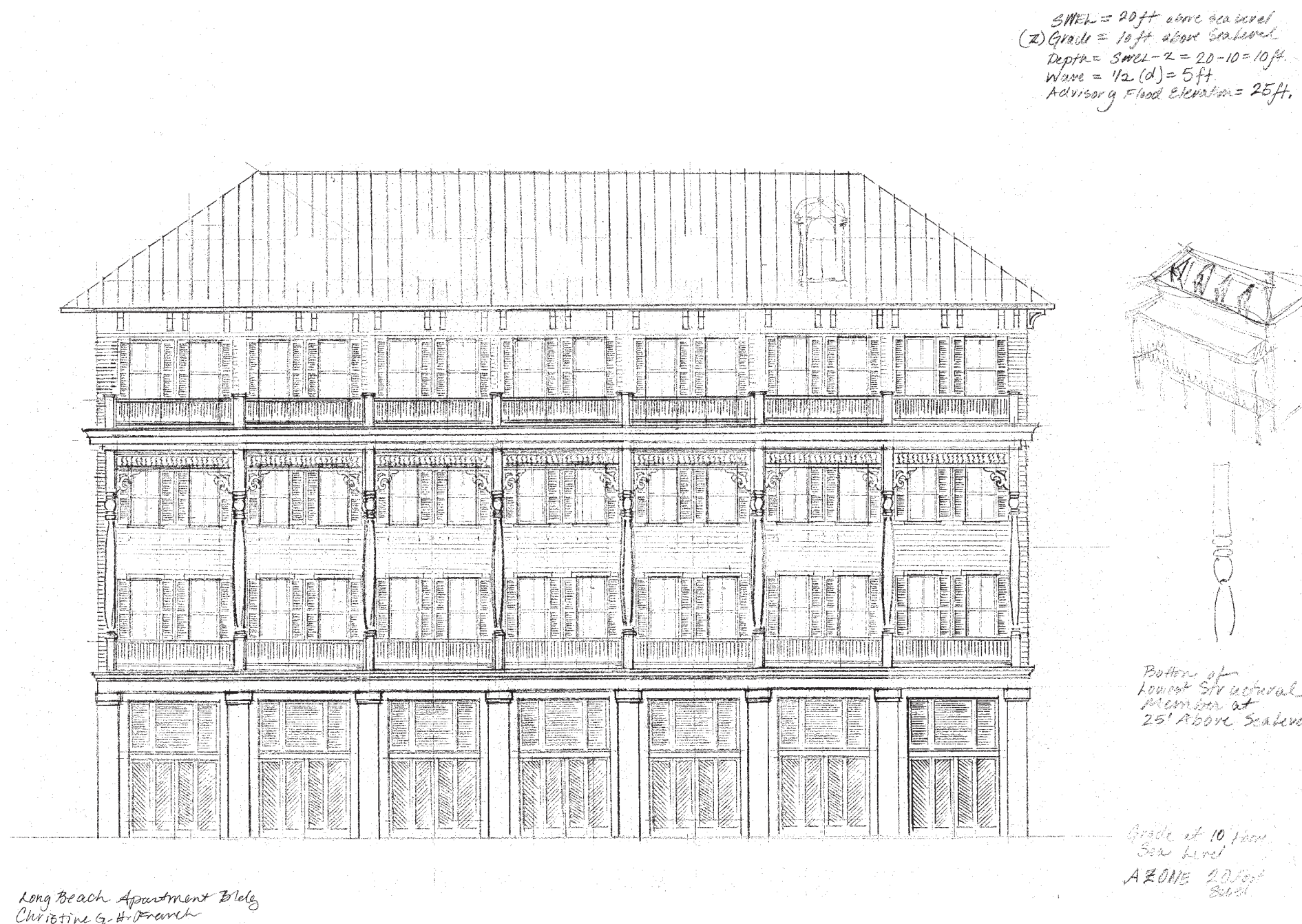
cghfranck@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☐ Commercial

NARRATIVE: A solution for an apartment building in a Velocity Zone with and Advisory Flood Elevation of 25'. The first level is parking.



CHAPTER 4

★ZONE A MIXED USE★





A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Recovery Retail

Drawing Title

14 Oct 05

Date

Allison H. Anderson, AIA

Name of Contact for Additional Information

unarch@att.net

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☒ Custom
- ☒ Commercial

NARRATIVE: This proposal illustrates a flood-proofed first level with a fast-food restaurant, amortized by three levels of housing above. This is a solution for highway commercial sites.





A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Recovery Retail

Drawing Title

14 Oct 05

Date

Allison H. Anderson, AIA

Name of Contact for Additional Information

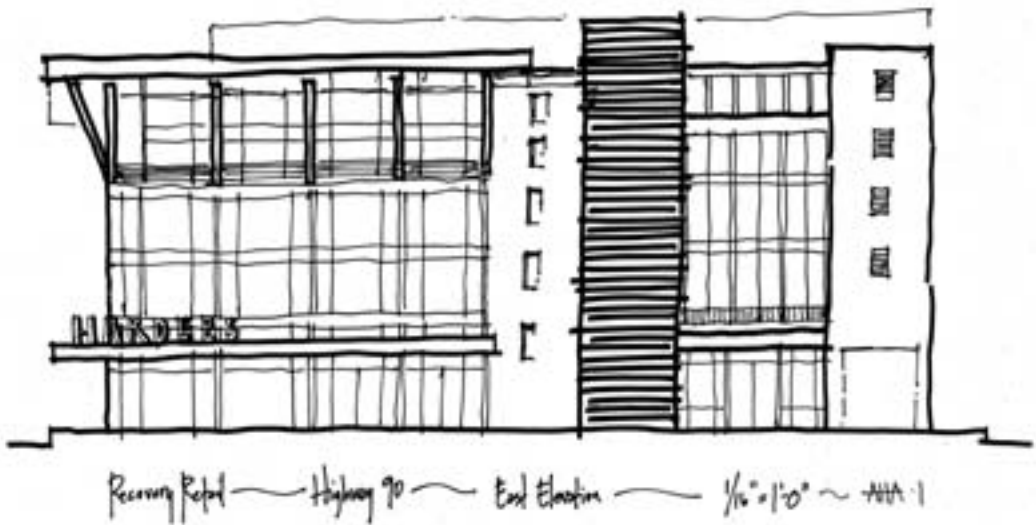
unarch@att.net

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☒ Custom
- ☒ Commercial

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A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Recovery Retail

Drawing Title

14 Oct 05

Date

Allison H. Anderson, AIA

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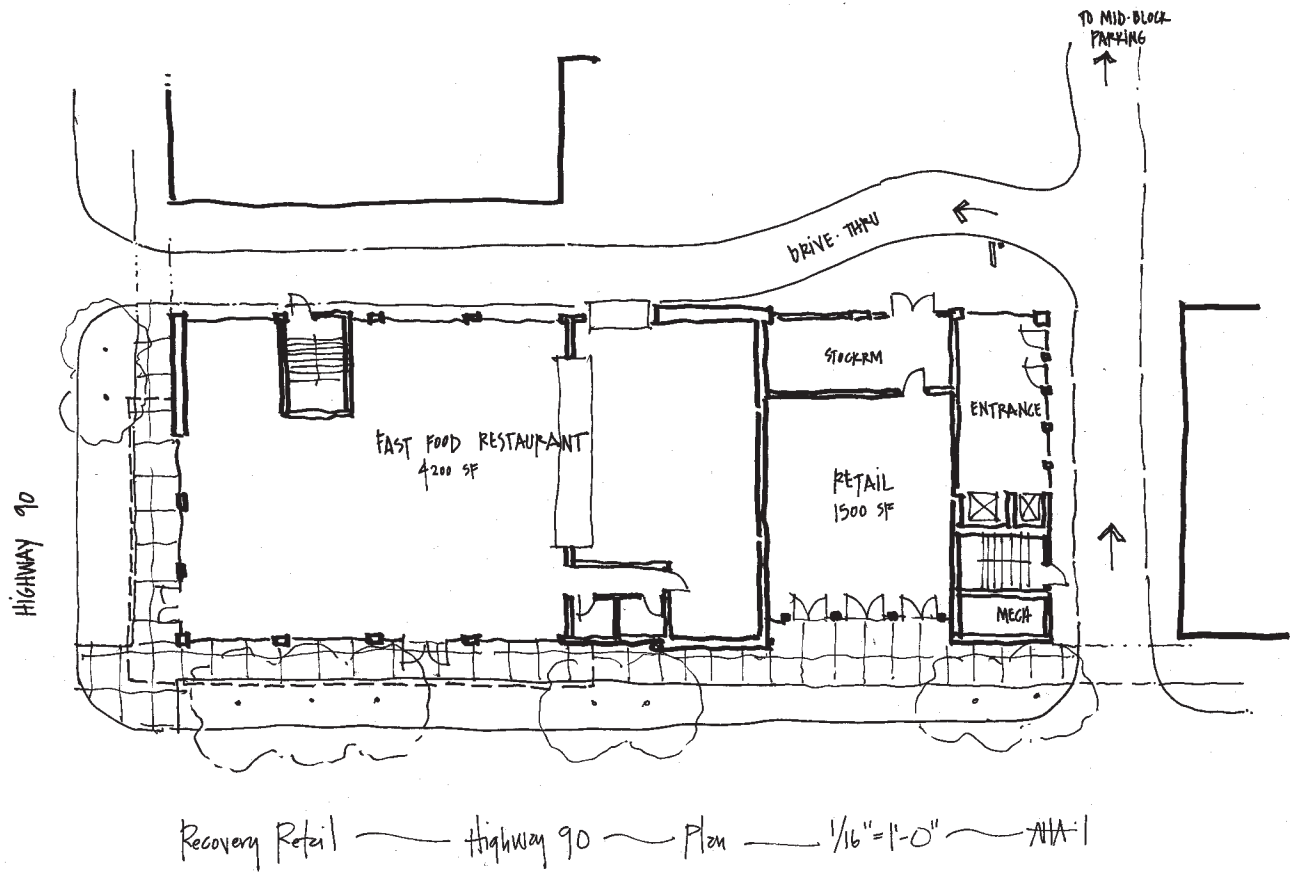
unarch@att.net

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☒ Custom
- ☒ Commercial

NARRATIVE: This proposal illustrates a flood-proofed first level with a fast-food restaurant, amortized by three levels of housing above. This is a solution for highway commercial sites.





SHOP / HOUSE
1/8" = 1'-0"
ALLISON ANDERSON . 2



A Zone Mixed Use
Place or Topic

TIMING
☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Live/Work
Drawing Title

14 Oct 05
Date

Allison H. Anderson, AIA
Name of Contact for Additional Information

unarch@att.net
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☒ Commercial

NARRATIVE: The plan includes first floor retail and two living units above with a shared green courtyard. One unit could be the shop owner's residence, the other for weekly or monthly rental. A deep overhang provides protection from the elements at the sidewalk, and shading for the large daylight windows.



A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Live/Work

Drawing Title

14 Oct 05

Date

Allison H. Anderson, AIA

Name of Contact for Additional Information

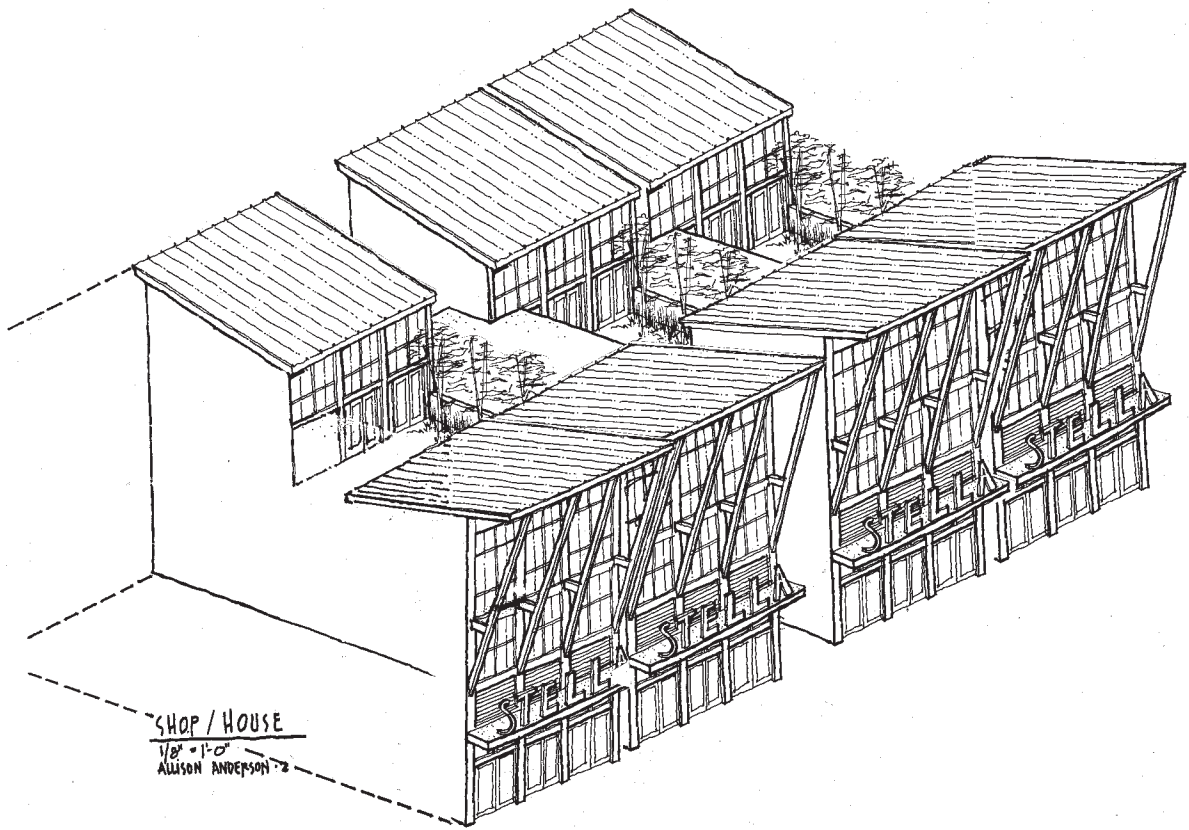
unarch@att.net

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☒ Custom
- ☒ Commercial

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A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Live/Work

Drawing Title

14 Oct 05

Date

Allison H. Anderson, AIA

Name of Contact for Additional Information

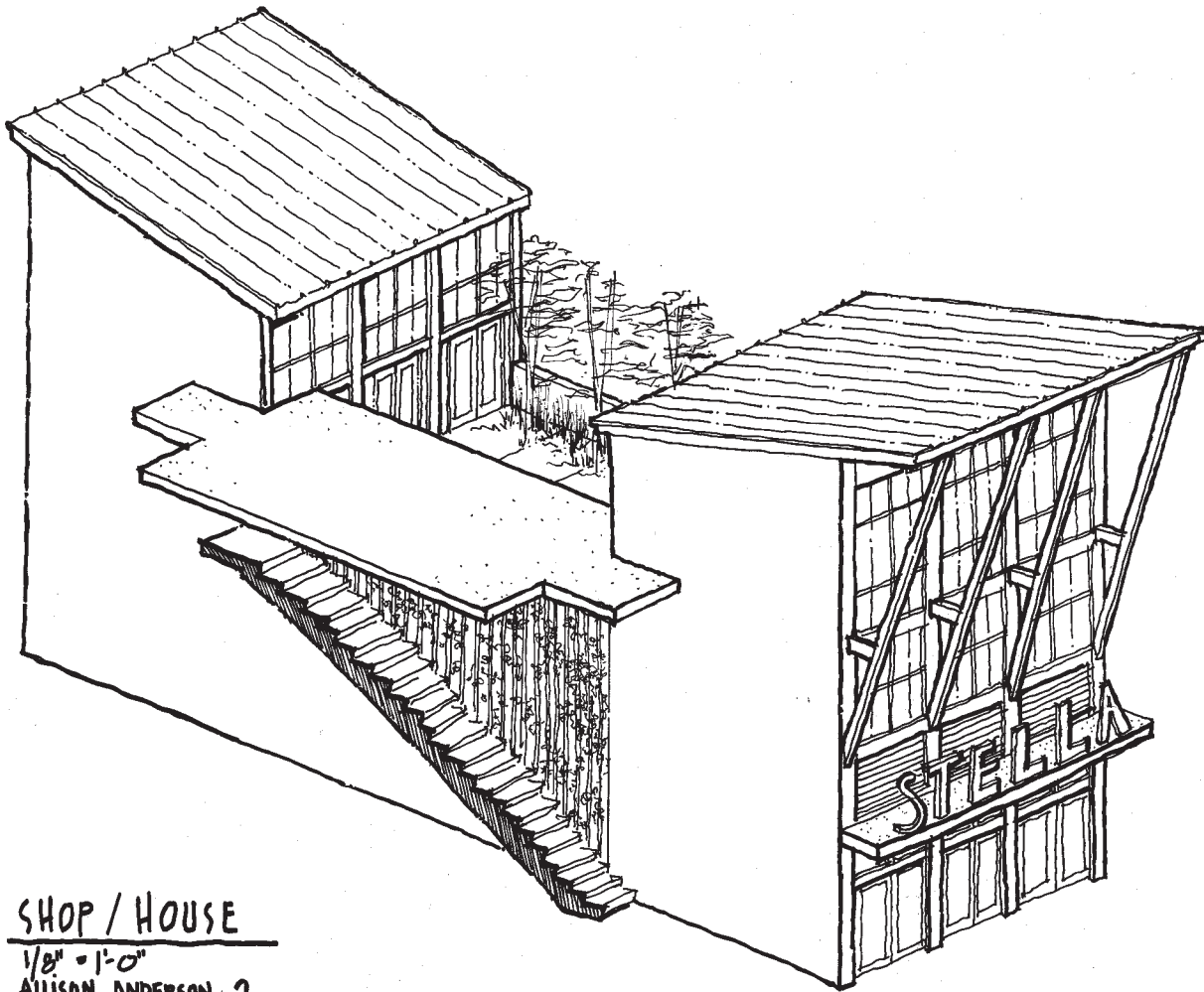
unarch@att.net

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☒ Custom
- ☒ Commercial

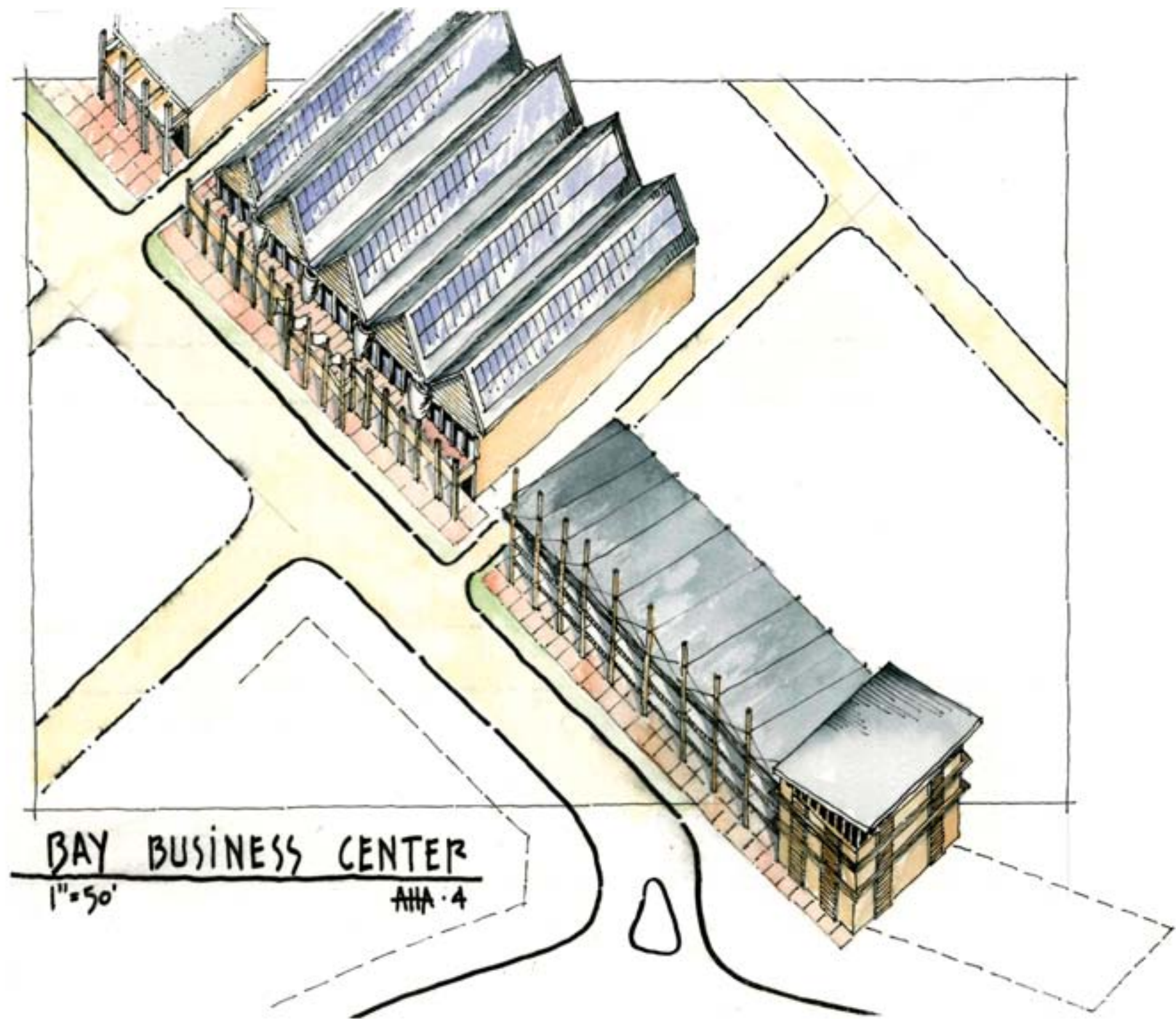
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SHOP / HOUSE

1/8" = 1'-0"

ALLISON ANDERSON - 2



A Zone Mixed Use
Place or Topic

TIMING
☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Bay St. Louis Business Center
Drawing Title

16 Oct 05
Date

Allison H. Anderson, AIA
Name of Contact for Additional Information

unarch@att.net
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: The center is proposed for the intersection of Hwy. 90 and Main Street, and includes a business incubator as well as Chamber of Commerce offices and tenant spaces. Green features include south-facing solar collectors, rainwater harvesting, window shading, and the reuse of an abandoned supermarket.



A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Live/Work

Drawing Title

18 Oct 05

Date

John Anderson

Name of Contact for Additional Information

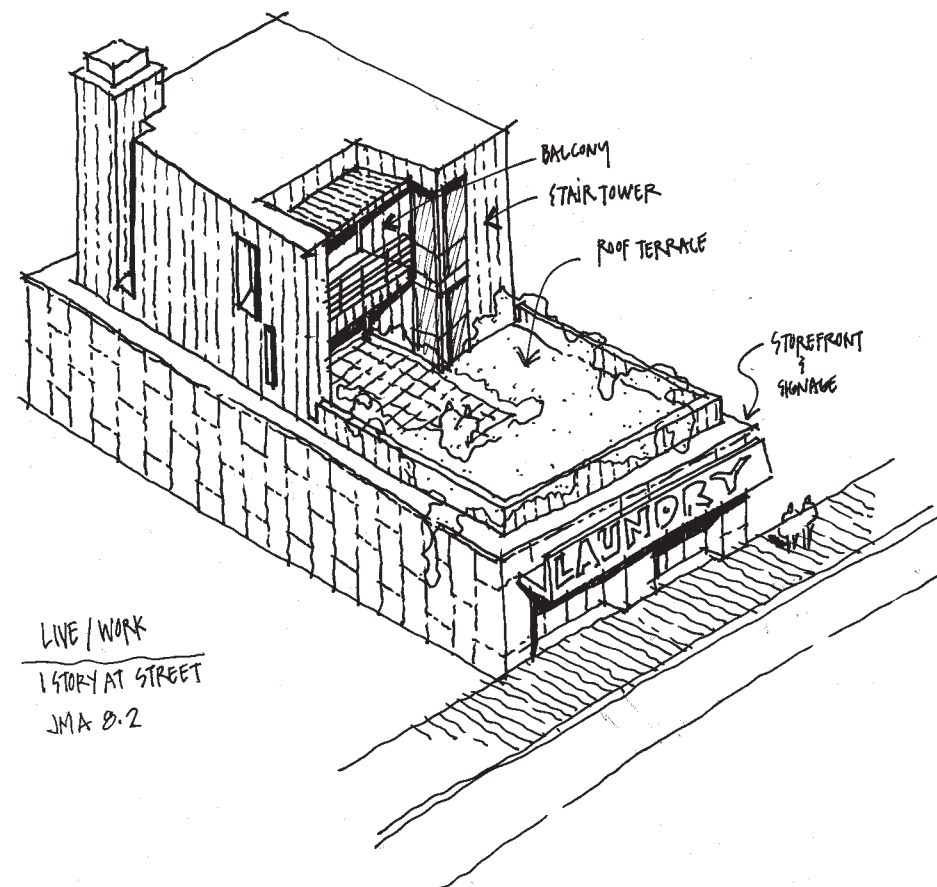
janderson@studioedr.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: Prototype study for Main St. Live/Work with shop and parking on ground floor and 2 level living unit above. Roof terrace at street.





A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Live/Work

Drawing Title

18 Oct 05

Date

John Anderson

Name of Contact for Additional Information

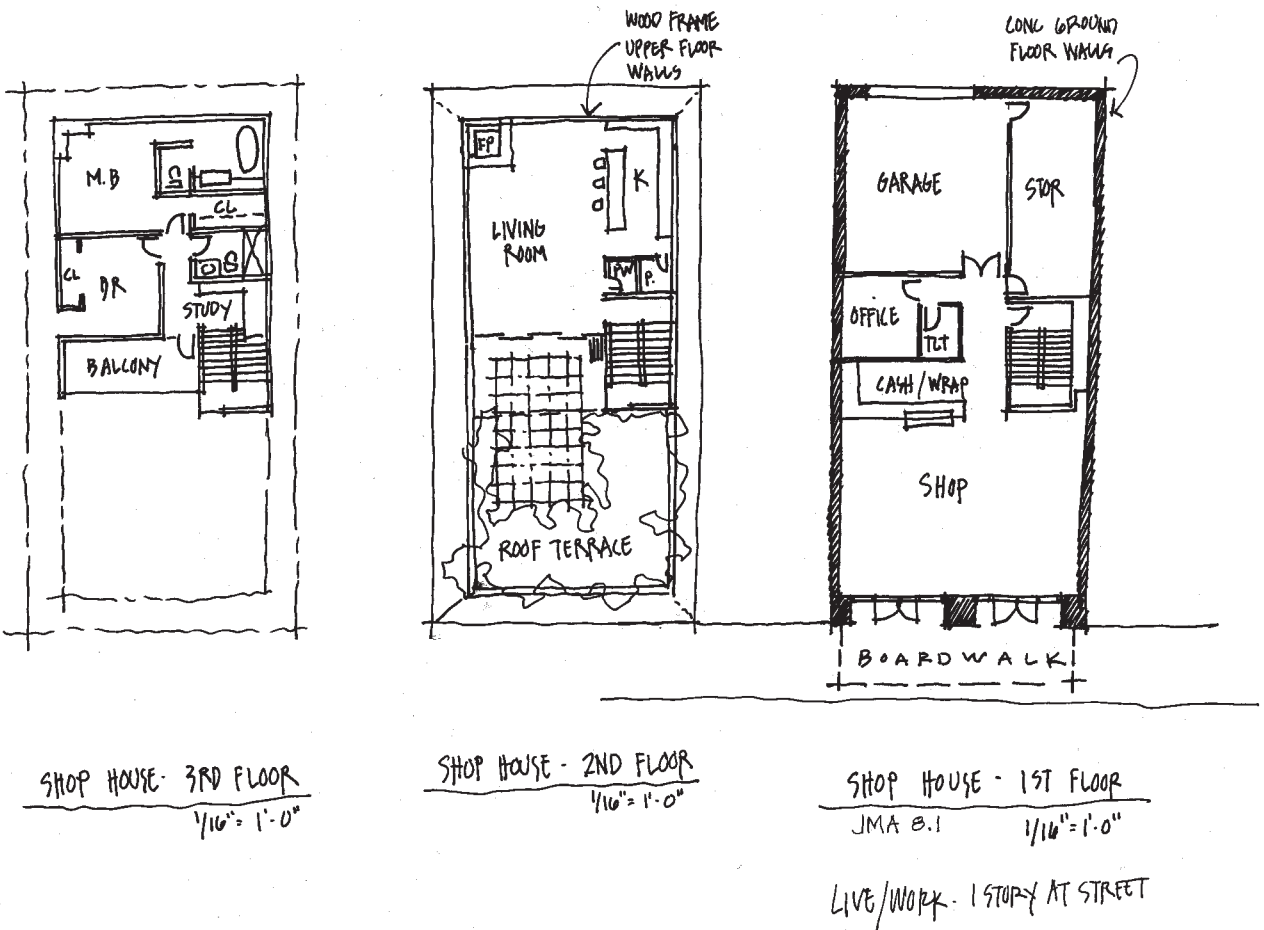
janderson@studioedr.com

E-mail address

HOUSING TYPE:

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- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☐ Custom
- ☒ Commercial

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A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Mixed Use

Drawing Title

18 Oct 05

Date

John Anderson

Name of Contact for Additional Information

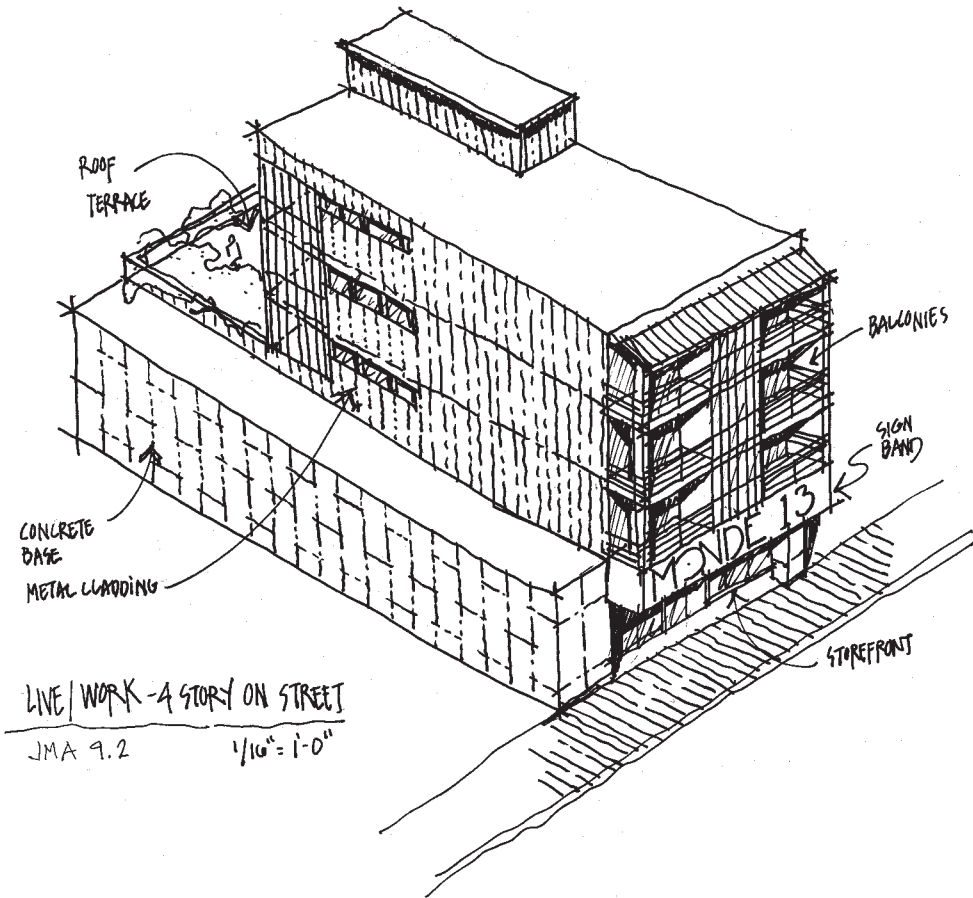
janderson@studioedr.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☐ Custom
- ☒ Commercial

NARRATIVE: Mixed use with four stories on street for T6 areas. Building has three floors of residential over one floor of flood-proofed retail.





A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Mixed Use

Drawing Title

18 Oct 05

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John Anderson

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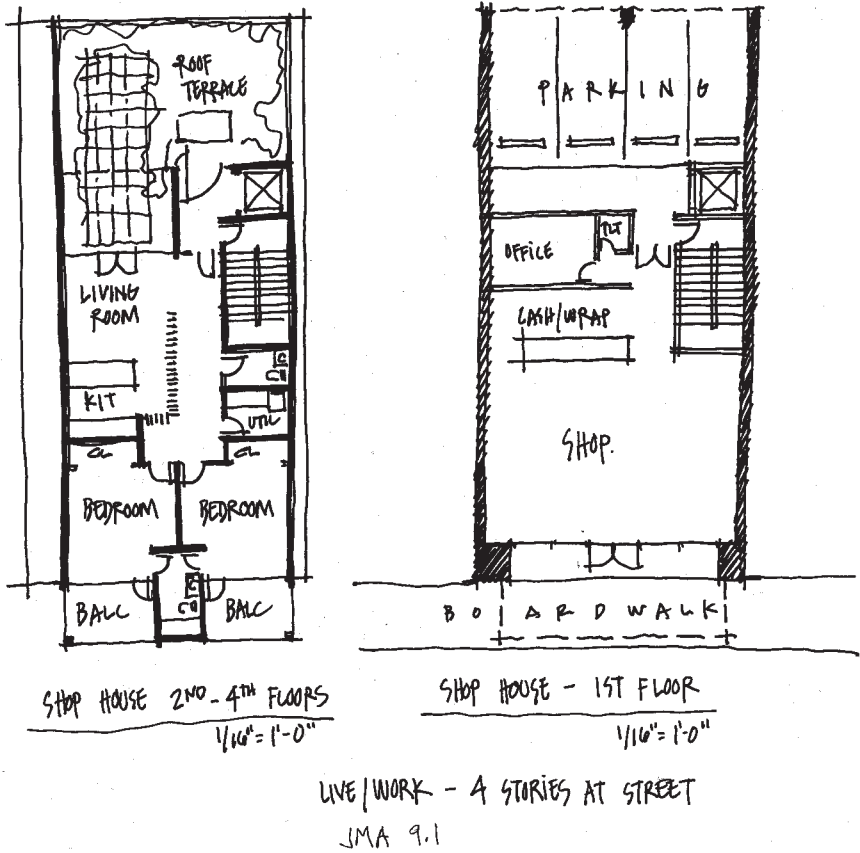
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E-mail address

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NARRATIVE: Mixed use with four stories on street for T6 areas. Building has three floors of residential over one floor of flood-proofed retail.





A Zone Mixed Use

Place or Topic

TIMING

☐ Immediate

☐ Medium Term

☒ Long Term

IMPLEMENTATION THROUGH

☒ Design

☐ Policy

☐ Management

Biloxi Boutique Casino

Drawing Title

18 Oct 05

Date

John Anderson

Name of Contact for Additional Information

janderson@studioedr.com

E-mail address

HOUSING TYPE:

☐ Temporary

☐ Mobile

☐ Modular

☐ Panelized

☐ Stock Plan

☐ Custom

☒ Commercial

NARRATIVE: Study illustrating how a “boutique” casino might be configured on a single block north of Beach Blvd. in Biloxi. Parking is buried midblock. Hotel lobby & casino is stretched along the length of the block on Beach Blvd. w/restaurant & bar anchoring the corners. An arcade provides shade for pedestrians. North side is lined with residential townhouses.

A Zone Mixed Use
Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Biloxi Boutique Casino

Drawing Title

18 Oct 05

Date

John Anderson

Name of Contact for Additional Information

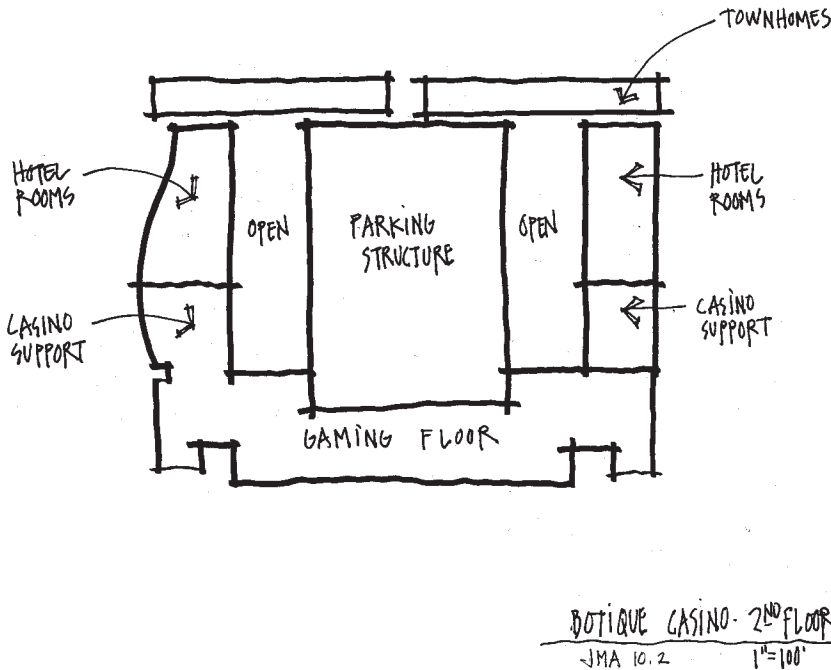
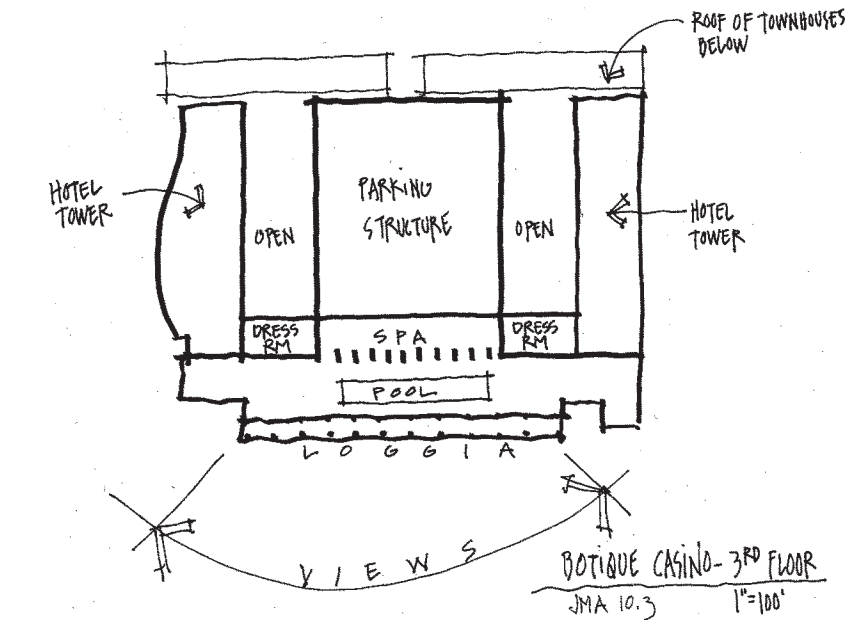
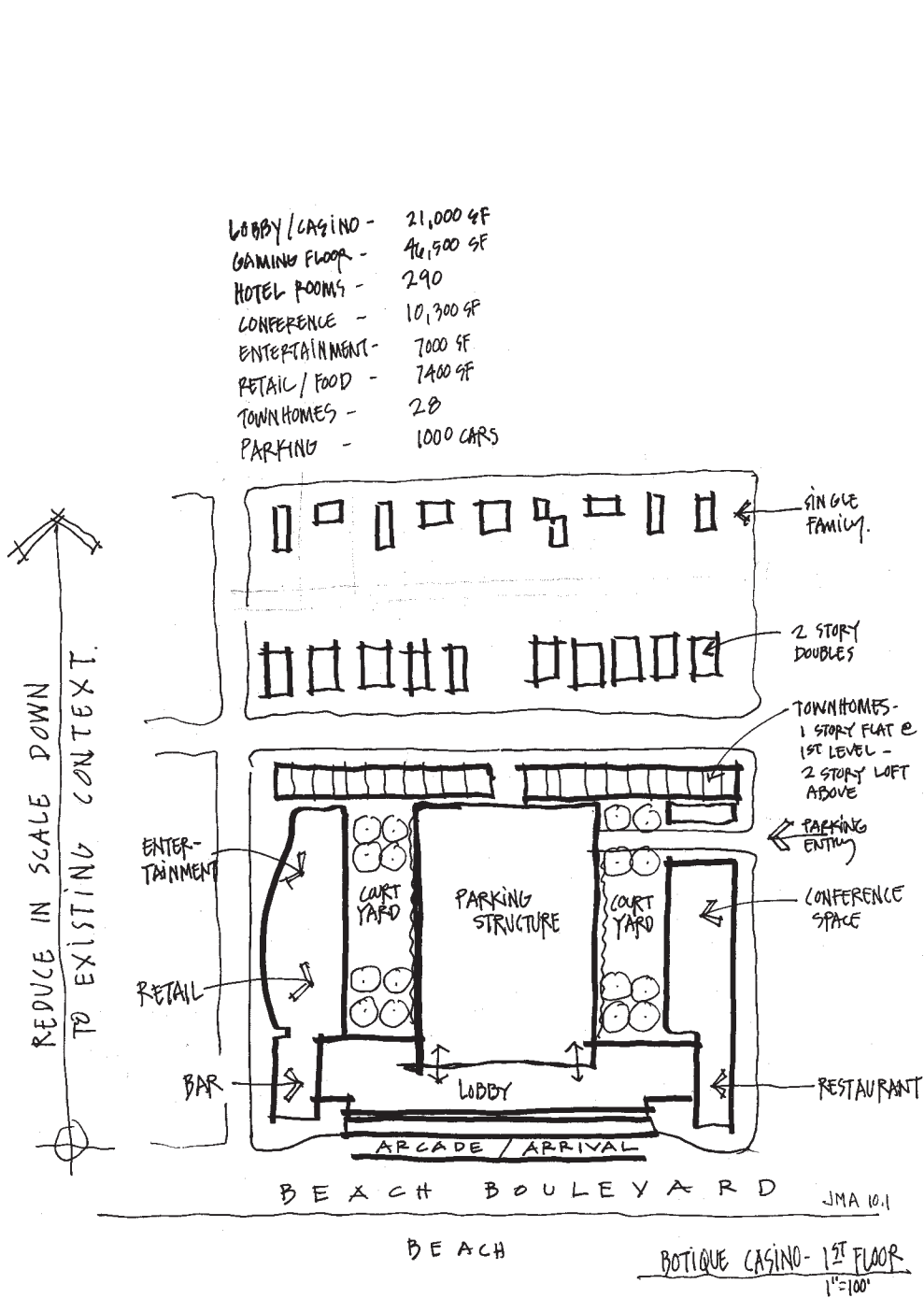
janderson@studioedr.com

E-mail address

HOUSING TYPE:

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☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

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A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Long Beach Condos

Drawing Title

17 Oct 05

Date

Marianne Cusato

Name of Contact for Additional Information

mcusato@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☒ Custom
- ☒ Commercial

NARRATIVE: Perspective rendering shown at US 90 in Long Beach. The condos have been pulled back from the highway to gain elevation and allow flood proofed retail on the ground floor.



GRAND CASINO BOULEVARD FRONTAGE

MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONVENOR FOR THE
New Orleans

A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Arcaded Mixed Use: T5

Drawing Title

27 Oct 05

Date

Milton W. Grenfell

Name of Contact for Additional Information

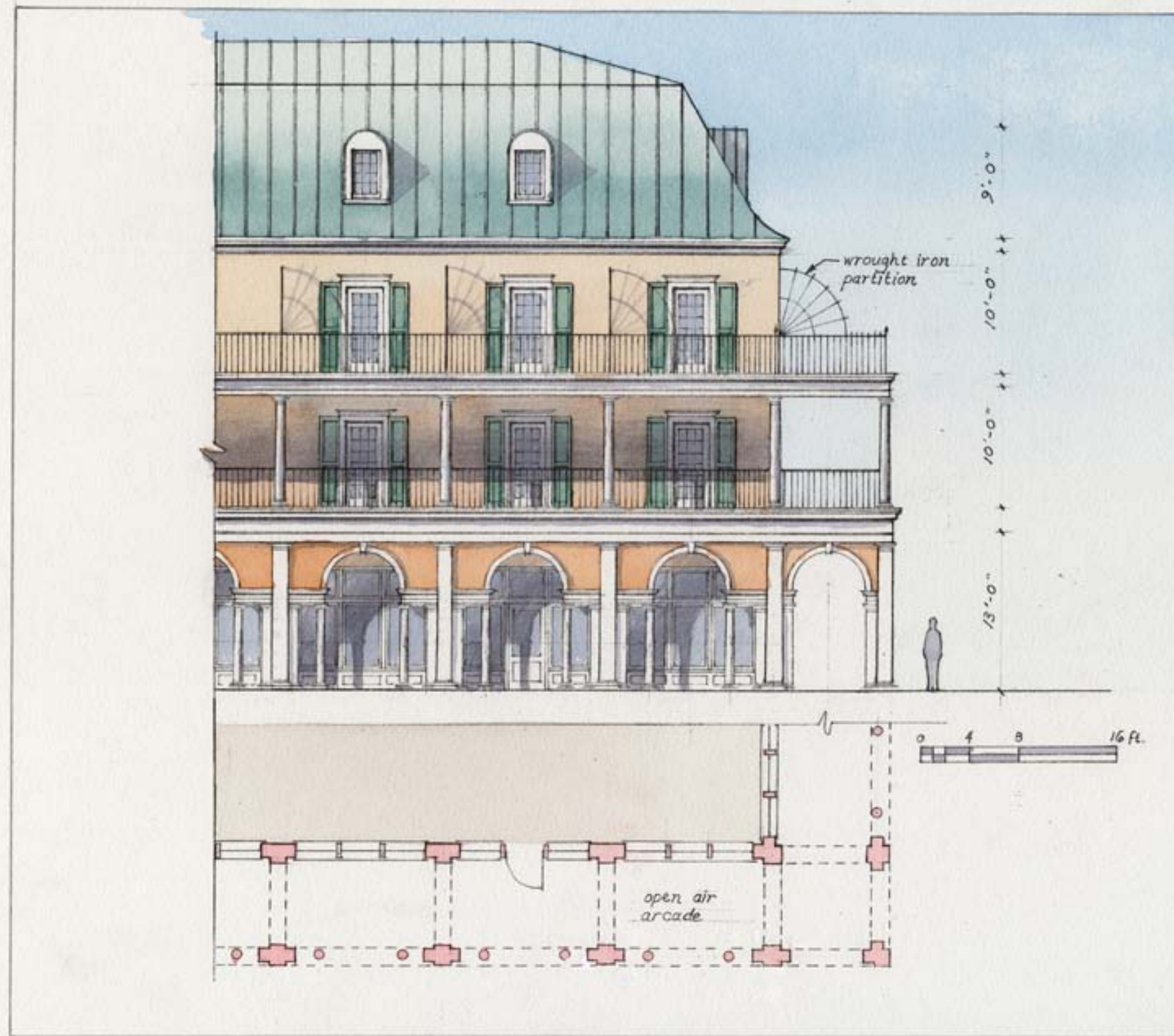
grenarch@verizon.net

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: Old photos of Biloxi show arcaded retail ground floor with offices/residential with balconies above. In addition to revisiting these traditional features, wide openings, tall ceilings, and appropriate finishes on the ground floor permit storm surges to flow through this level as a form of wet flood-proofing. Spaces immediately beneath the hurricane resistant Mansard roof can provide affordable housing for young people, artists, and others of modest means.



MISSISSIPPI RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWALCNU CONVENOR FOR THE
New Orleans

A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Arcaded Mixed Use: T5

Drawing Title

27 Oct 05

Date

Milton W. Grenfell

Name of Contact for Additional Information

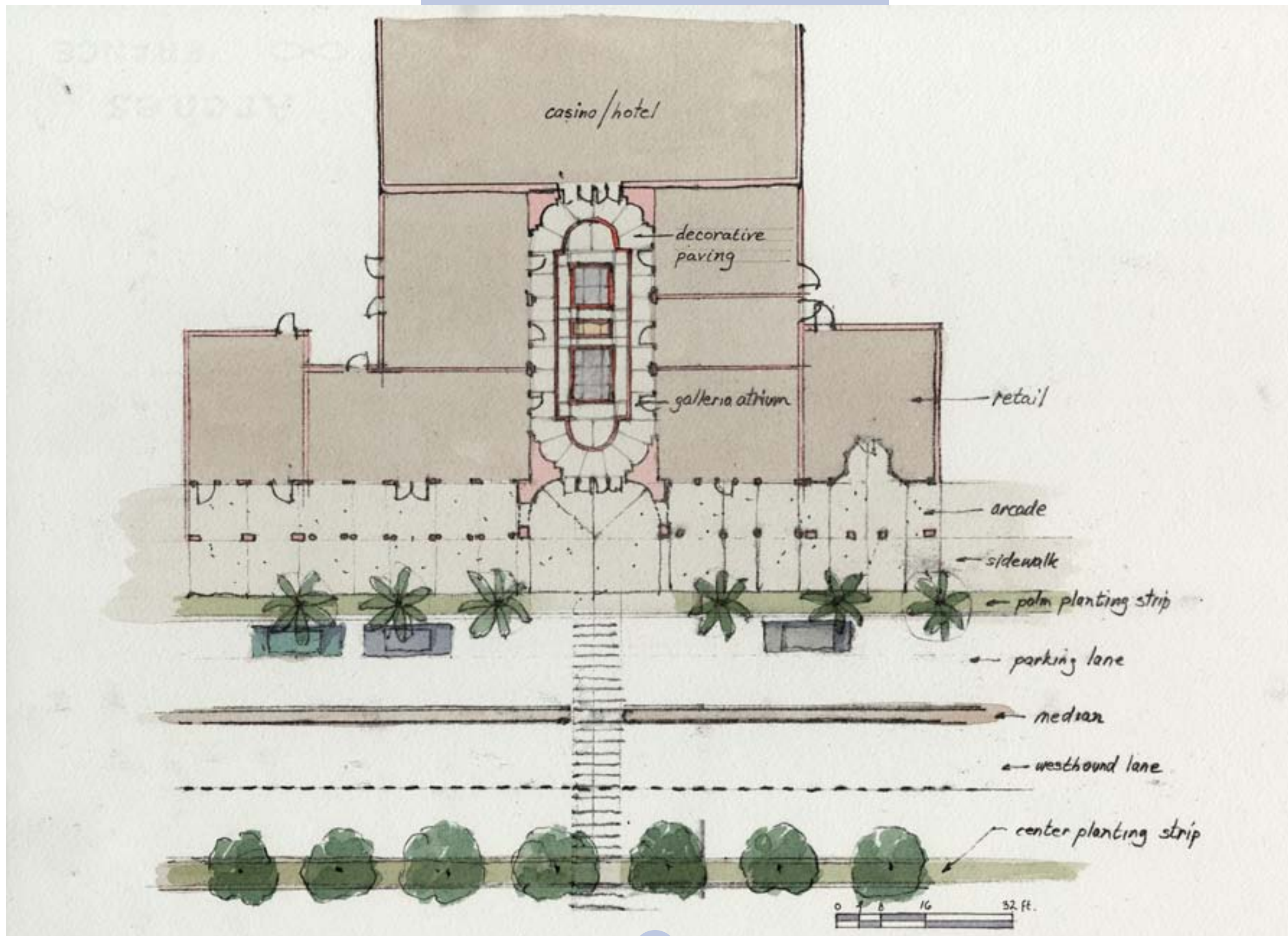
grenarch@verizon.net

E-mail address

HOUSING TYPE:

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☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
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NARRATIVE: Old photos of Biloxi show arcaded retail ground floor with offices/residential with balconies above. In addition to revisiting these traditional features, wide openings, tall ceilings, and appropriate finishes on the ground floor permit storm surges to flow through this level as a form of wet flood-proofing. Spaces immediately beneath the hurricane resistant Mansard roof can provide affordable housing for young people, artists, and others of modest means.



A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Retail Street Lines & Connector to Casino

Drawing Title

27 Oct 05

Date

Milton W. Grenfell

Name of Contact for Additional Information

grenarch@verizon.net

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: Several hotels that survived the hurricane were located on the beach with parking lots along Hwy. 90. To make them better neighbors, liner retail buildings with office or residential above are proposed to introduce a finer street grain for pedestrians. Open air, retail-fronted courtyards or conditioned gallerias can invitingly connect the Casino/Hotels to the Boulevard.



A Zone Mixed Use

Place or Topic

TIMING

☐ Immediate

☒ Medium Term

☒ Long Term

IMPLEMENTATION THROUGH

☒ Design

☐ Policy

☐ Management

Hurricane Hardened Small Mixed Use: T5

Drawing Title

27 Oct 05

Date

Milton W. Grenfell

Name of Contact for Additional Information

grenarch@verizon.net

E-mail address

HOUSING TYPE:

☐ Temporary

☐ Mobile

☐ Modular

☐ Panelized

☐ Stock Plan

☐ Custom

☒ Commercial

NARRATIVE: Except for the lobby and small retail, this building is raised above the storm surge, with parking below. The imited ground floor is wet flood-proofed with larger openings, tall ceilings, and appropriate finishes to minimize flood damage. With the wind resistant Mansard roof the building's French idiom is a reference to the region's French origins. As Mississippian William Faulkner understood, "The past isn't dead, it's not even past."



A Zone Mixed Use
Place or Topic

TIMING

- ☐ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Hurricane Hardened Small Mixed Use: T5
Drawing Title

27 Oct 05
Date

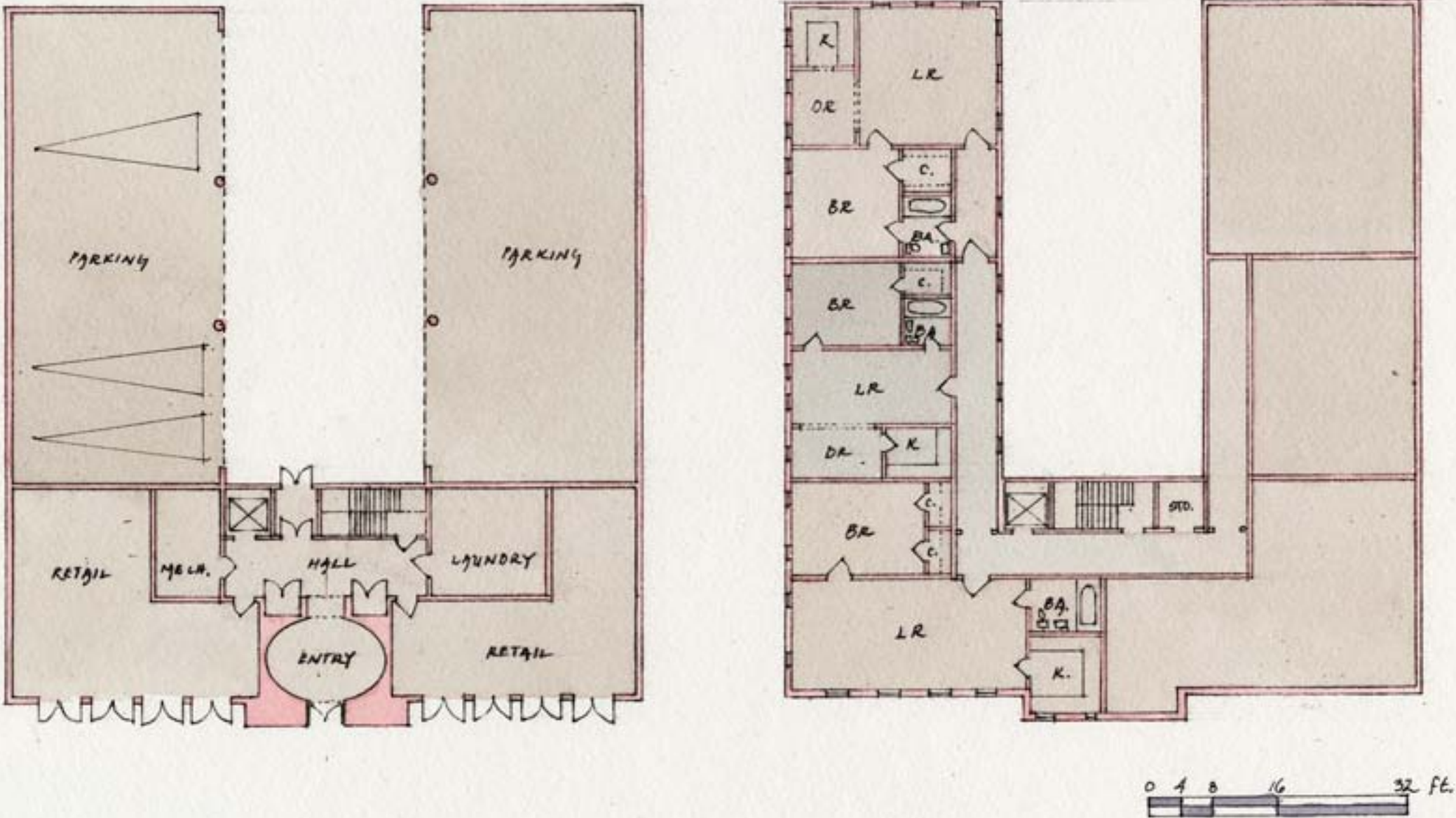
Milton W. Grenfell
Name of Contact for Additional Information

grenarch@verizon.net
E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☐ Custom
- ☒ Commercial

NARRATIVE: Except for the lobby and small retail, this building is raised above the storm surge, with parking below. The imited ground floor is wet flood-proofed with larger openings, tall ceilings, and appropriate finishes to minimize flood damage. With the wind resistant Mansard roof the building's French idiom is a reference to the region's French origins. As Mississippian William Faulkner understood, "The past isn't dead, it's not even past."





A Zone Mixed Use

Place or Topic

TIMING

☐ Immediate

☒ Medium Term

☒ Long Term

IMPLEMENTATION THROUGH

☒ Design

☐ Policy

☐ Management

Small Hotel: T4-T5

Drawing Title

27 Oct 05

Date

Milton W. Grenfell

Name of Contact for Additional Information

grenarch@verizon.net

E-mail address

HOUSING TYPE:

☐ Temporary

☐ Mobile

☐ Modular

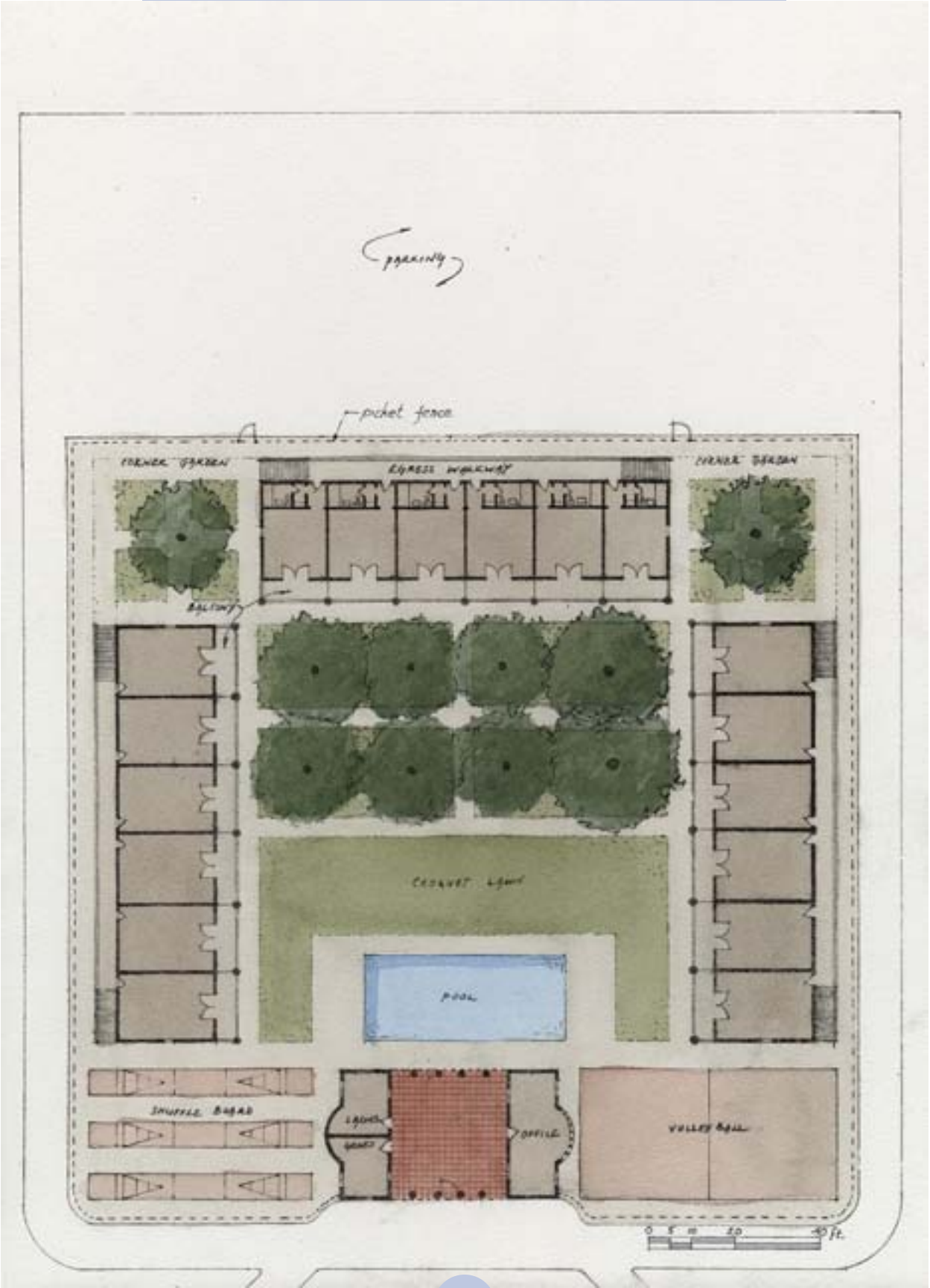
☐ Panelized

☐ Stock Plan

☐ Custom

☒ Commercial

NARRATIVE: The area's simplest and most numerous hospitality type is the "Mom & Pop" motel. Upper and lower verandahs with circulation on the rear would offer porch-sitting and through ventilation for sea breezes. Parking is in the rear or behind the two flanking pavilions. By combining office with pool house, one clerk can operate the front desk and manage the recreational facilities.



A Zone Mixed Use

Place or Topic

TIMING

☐ Immediate

☒ Medium Term

☒ Long Term

IMPLEMENTATION THROUGH

☒ Design

☐ Policy

☐ Management

Small Hotel: T4-T5

Drawing Title

27 Oct 05

Date

Milton W. Grenfell

Name of Contact for Additional Information

grenarch@verizon.net

E-mail address

HOUSING TYPE:

☐ Temporary

☐ Mobile

☐ Modular

☐ Panelized

☐ Stock Plan

☐ Custom

☒ Commercial

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A Zone Mixed Use
Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Downtown Gulfport Edge Grocery
Drawing Title

18 Oct 05
Date

Michael Imber
Name of Contact for Additional Information

mail@michaelgimber.com
E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☒ Custom
- ☒ Commercial

NARRATIVE:





A Zone Mixed Use

Place or Topic

TIMING

☐ Immediate

☐ Medium Term

☒ Long Term

IMPLEMENTATION THROUGH

☒ Design

☐ Policy

☐ Management

Gulfport Viaduct Market

Drawing Title

18 Oct 05

Date

Michael Imber

Name of Contact for Additional Information

mail@michaelgimber.com

E-mail address

HOUSING TYPE:

☐ Temporary

☐ Mobile

☐ Modular

☐ Panelized

☐ Stock Plan

☒ Custom

☒ Commercial

NARRATIVE:



MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONVENOR FOR THE
New Orleans

A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Gulfport Soria City Market

Drawing Title

18 Oct 05

Date

Michael Imber

Name of Contact for Additional Information

mail@michaelgimber.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☒ Commercial

NARRATIVE:



BROAD AVE. NORTH-SOUTH TRANSECT
GULFPORT, MS. 1992 JG. MS-9



A Zone Mixed Use
Place or Topic

TIMING
☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Gulfport Broad Ave. Condos
Drawing Title

18 Oct 05
Date

Michael Imber
Name of Contact for Additional Information

mail@michaelgimber.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☒ Custom
☒ Commercial

NARRATIVE: Illustration showing how mixed use condos would reduce in scale to the north as they approach the single family neighborhoods.



A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Apartment/Condo Mixed-Use

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

gwjustiss@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: Elevation study for apartment/condo elevated above a parking level lined with flood-proofed commercial space at the street level. The plan features an elevated shared courtyard.



GwJ103 - 1/31
RES. ORN PKG + RETAIL



A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Apartment/Condo Mixed-Use

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

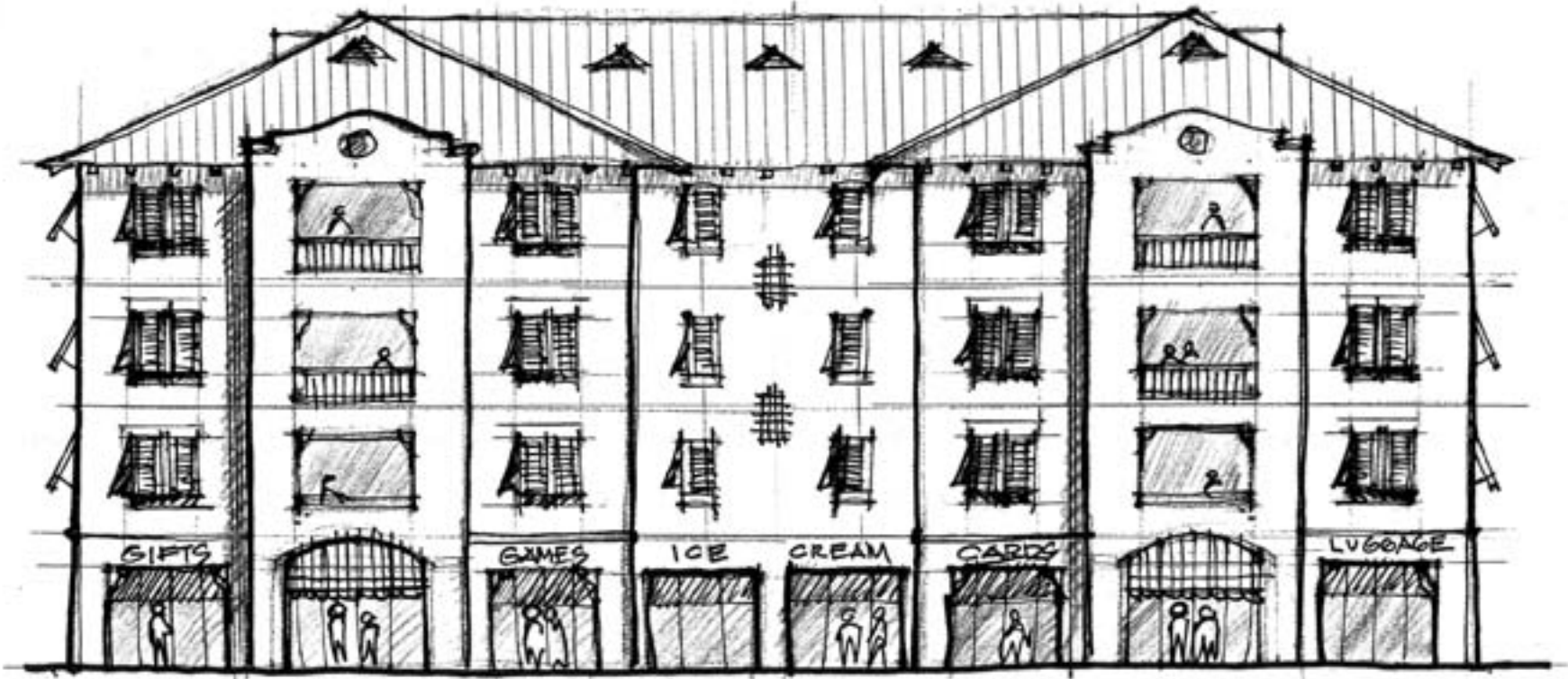
gwjustiss@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☐ Custom
- ☒ Commercial

NARRATIVE: Elevation study for apartment/condos elevated above flood-proofed commercial space at the street level.



GW107 1/8" = 1'-0"
MIXED USE PKG / RETAIL UNDER REB



A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Urban Walmart Sketch

Drawing Title

18 Oct 05

Date

Eric Moser

Name of Contact for Additional Information

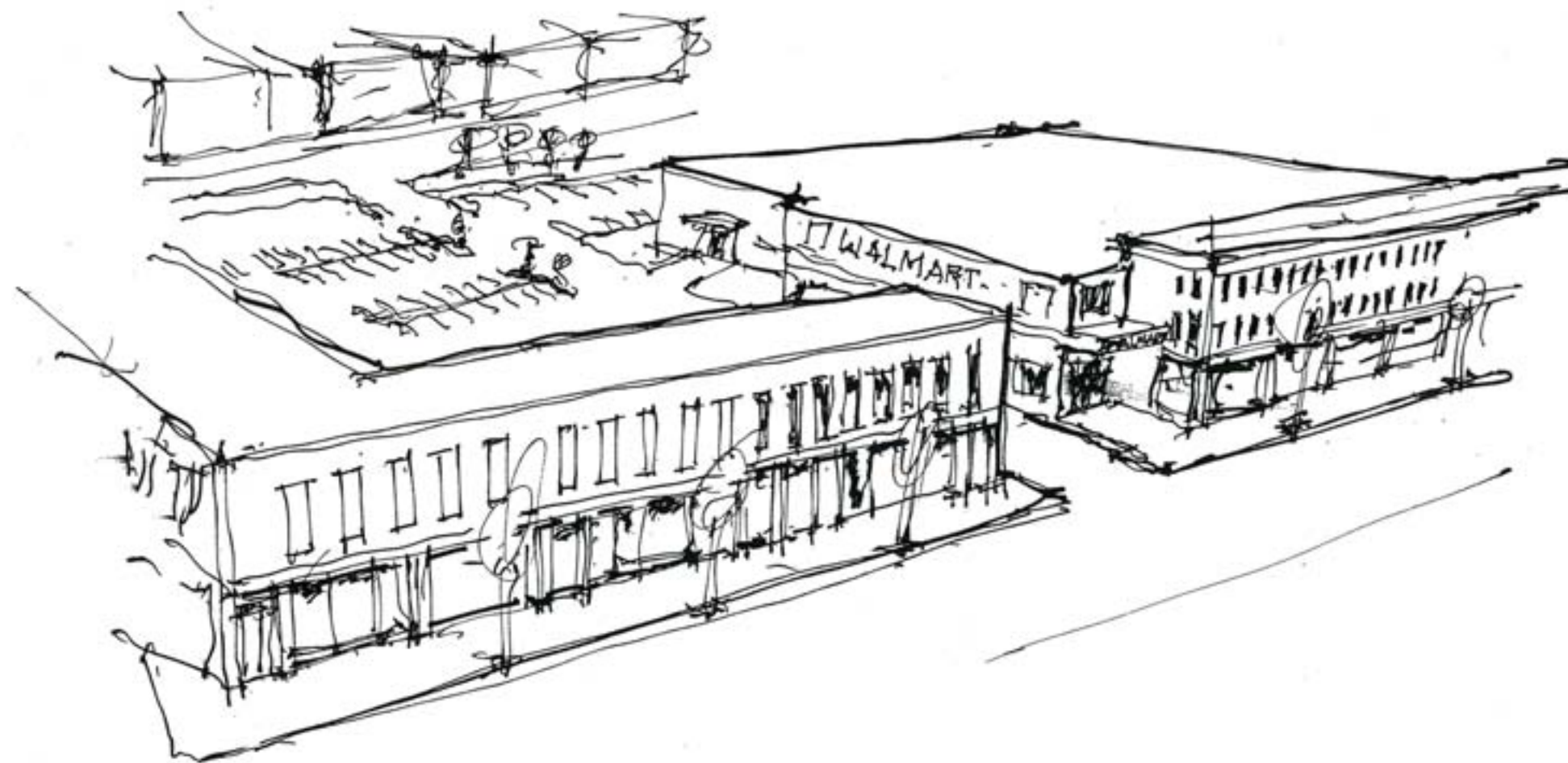
ericmoser@moserdesigngroup.com

E-mail address

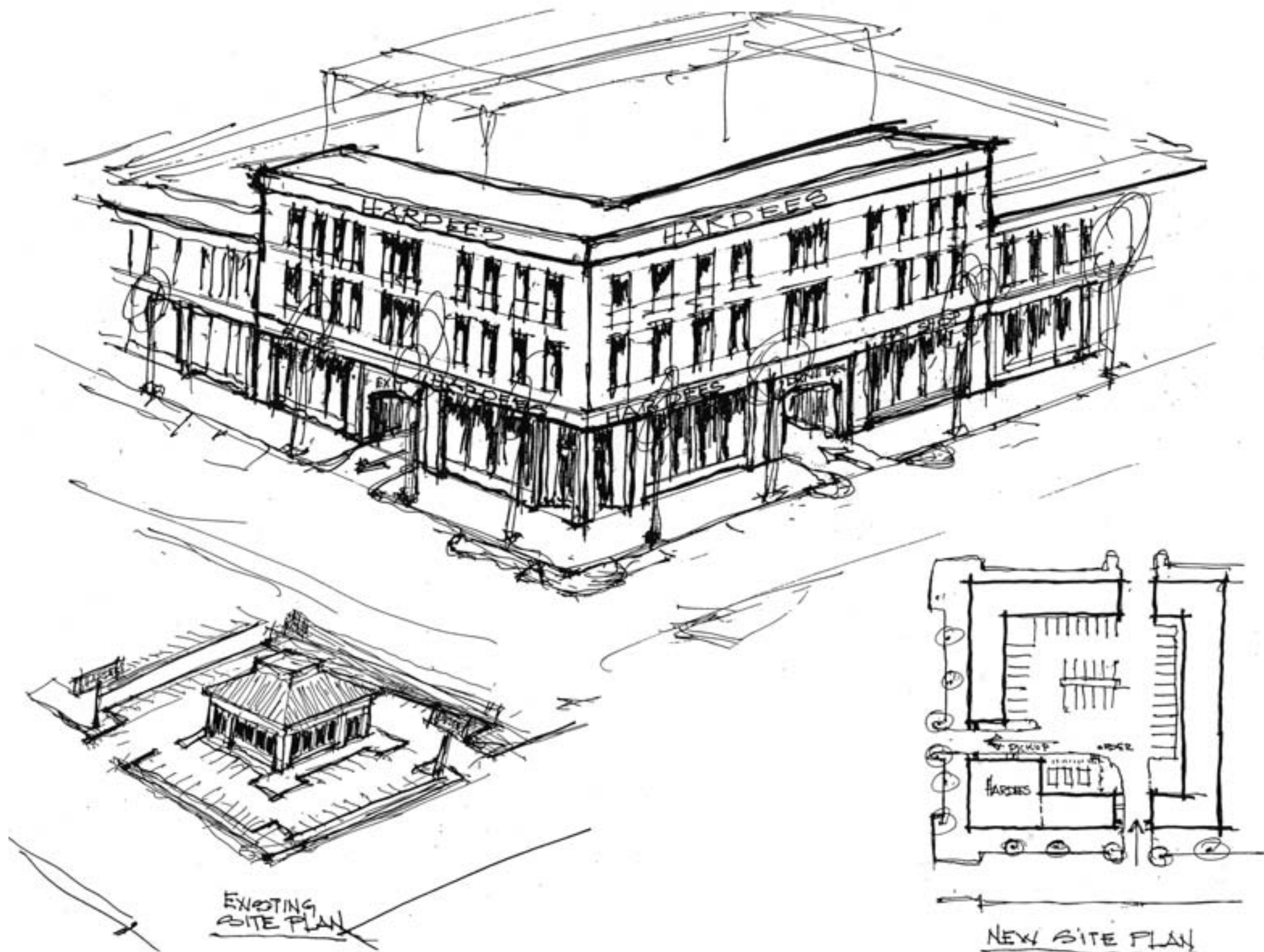
HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: Liner buildings address the sidewalk and mask building scale and parking lot.



URBAN WALMART



MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONGRESS FOR THE
NEW URBANISM

A Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Fast Food Retrofit

Drawing Title

18 Oct 05

Date

Eric Moser

Name of Contact for Additional Information

ericmoser@moserdesigngroup.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: A solution to maximize fast food lot. Drive through and parking are masked mid-block behind liner mixed use. Office or residential is on one or two levels above.

CHAPTER 5

★ZONE V MIXED USE★





COLEMAN AVENUE OPEN AIR MARKETPLACE
JMA 5.4



V Zone Mixed Use
Place or Topic

TIMING
☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Coleman Avenue Mixed Use Market
Drawing Title

18 Oct 05
Date

John Anderson
Name of Contact for Additional Information

janderson@studioedr.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: One possible solution to the new FEMA advisory elevation is to build an open-air marketplace that can be emptied and vacated in the event of a hurricane. An arcade tight to the street on ground level protects and shades pedestrians, while the upper level loggia provides covered access to second floor residential units.



V Zone Mixed Use

Place or Topic

TIMING

☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

☒ Design
☐ Policy
☐ Management

Coleman Avenue Mixed Use Market

Drawing Title

18 Oct 05

Date _____

John Anderson

Name of Contact for Additional Information

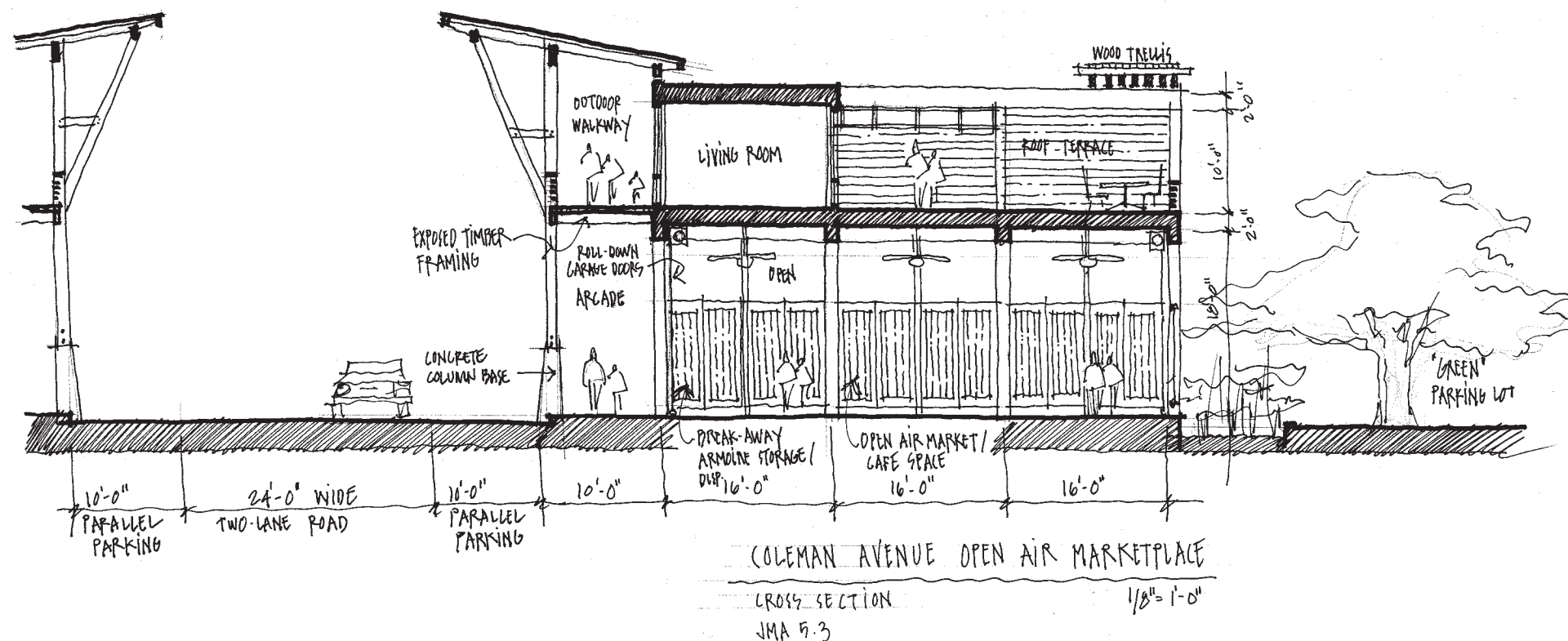
janderson@studioedr.com

E-mail address

HOUSING TYPE:

- ___ Temporary
- ___ Mobile
- ___ Modular
- ___ Panelized
- ___ Stock Plan
- ___ Custom
- ___ Commercial

NARRATIVE: One possible solution to the new FEMA advisory elevation is to build an open-air marketplace that can be emptied and vacated in the event of a hurricane. An arcade tight to the street on ground level protects and shades pedestrians, while the upper level loggia provides covered access to second floor residential units.





V Zone Mixed Use
Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Coleman Avenue Mixed Use Market

Drawing Title

18 Oct 05

Date

John Anderson

Name of Contact for Additional Information

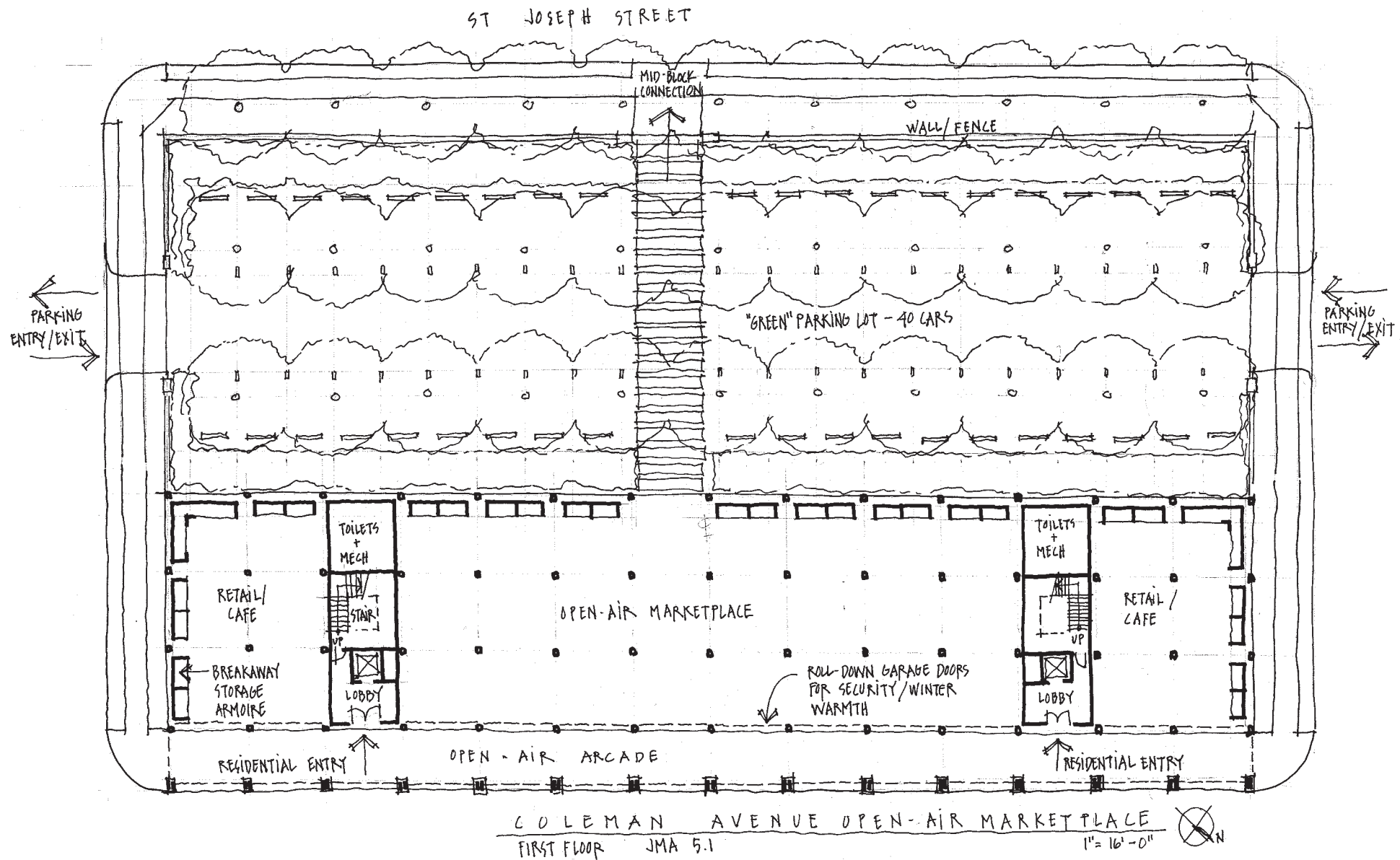
janderson@studioedr.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☐ Custom
- ☐ Commercial

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V Zone Mixed Use

Place or Topic

TIMING

☐ Immediate

☐ Medium Term

☒ Long Term

IMPLEMENTATION THROUGH

☒ Design

☐ Policy

☐ Management

Coleman Avenue Mixed Use Market

Drawing Title

18 Oct 05

Date

John Anderson

Name of Contact for Additional Information

janderson@studioedr.com

E-mail address

HOUSING TYPE:

☐ Temporary

☐ Mobile

☐ Modular

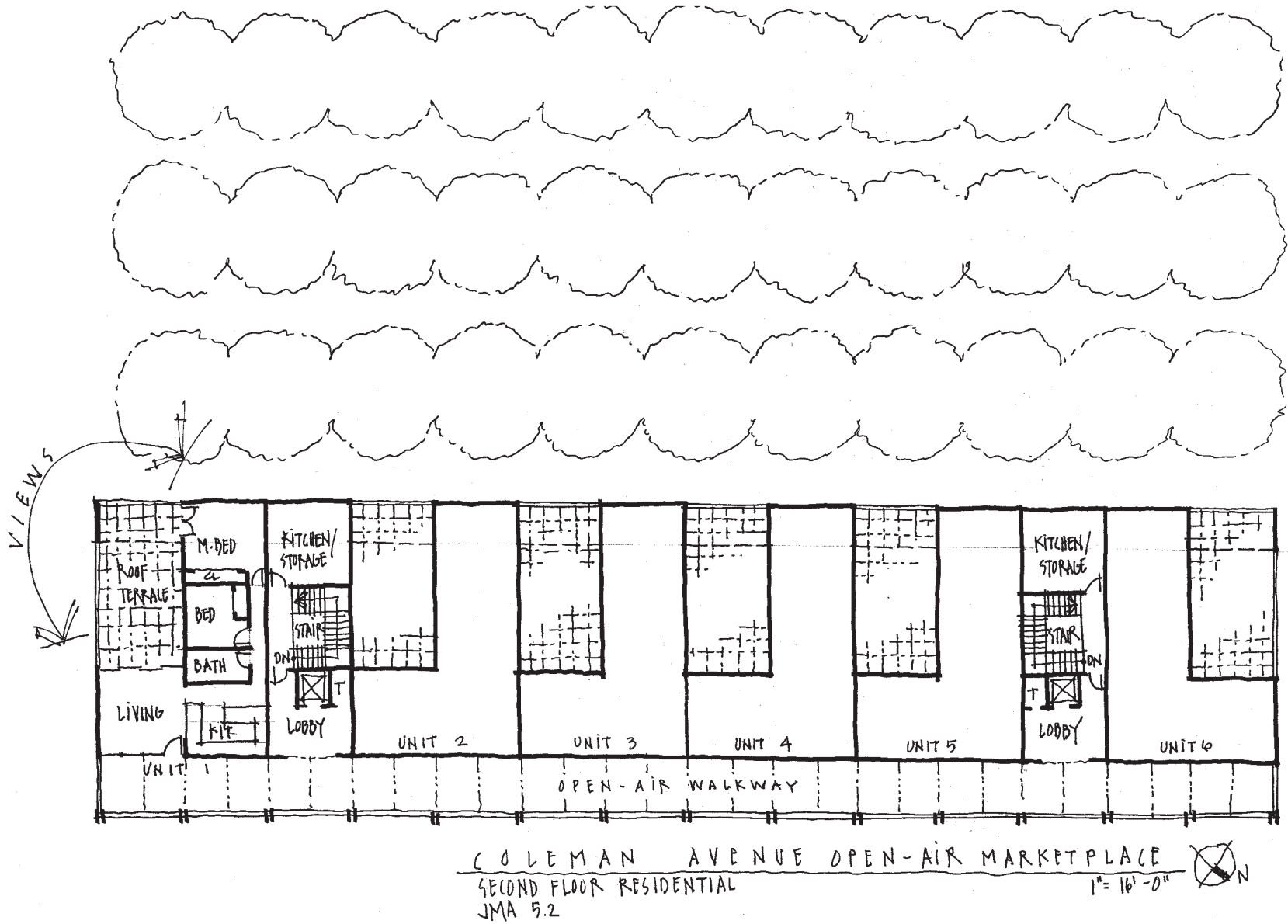
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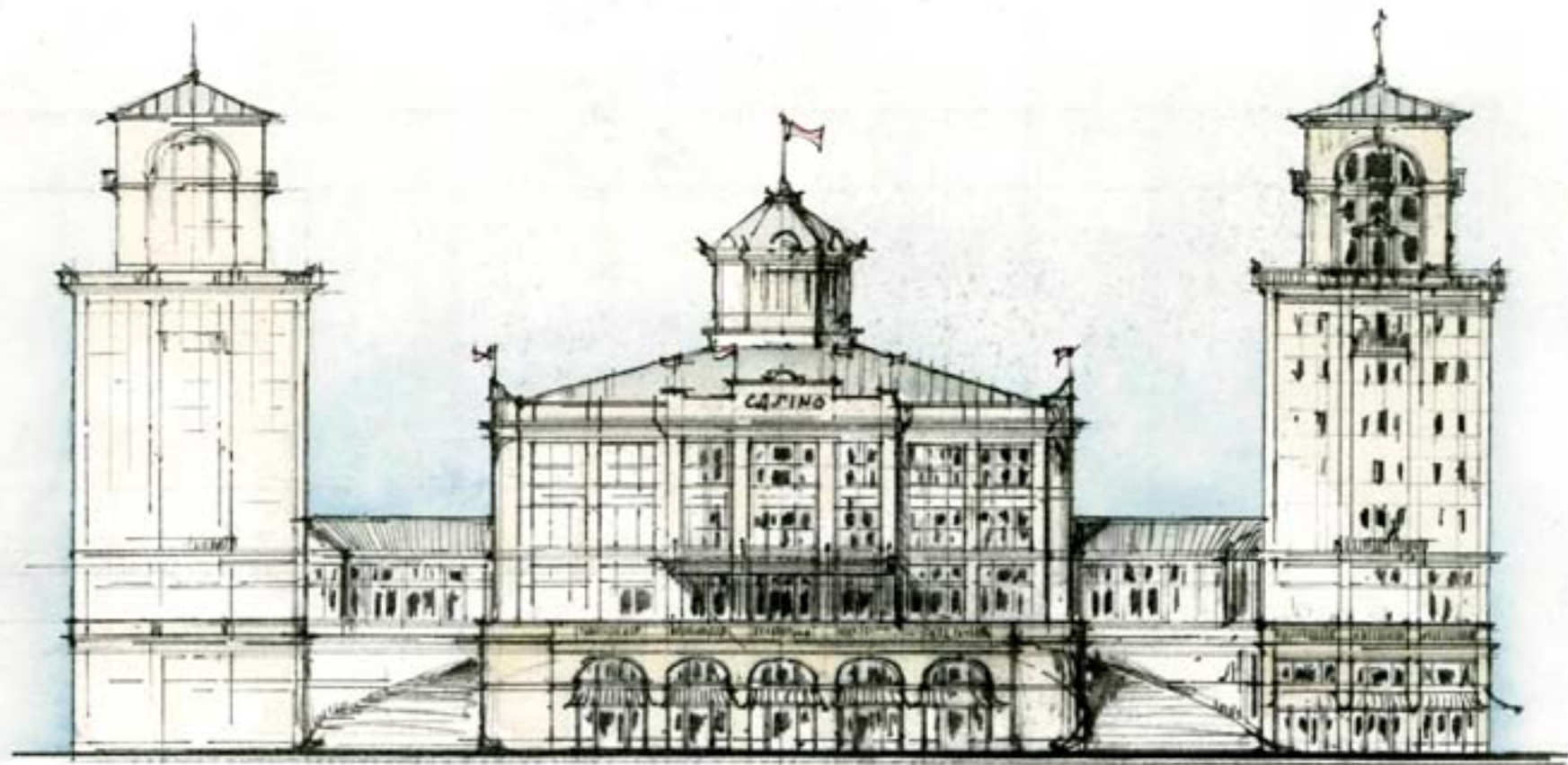
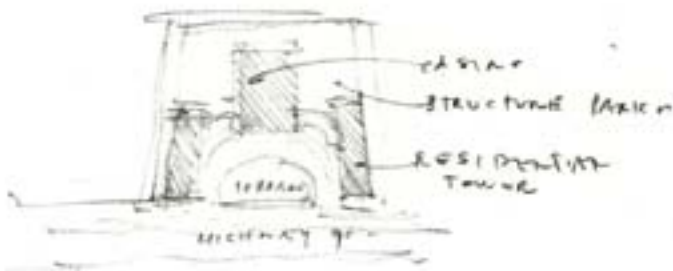
☐ Stock Plan

☐ Custom

☐ Commercial

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Casino & Residential Towers - Biloxi
1/32" = 1'-0"

Marianne Cusato '05



V Zone Mixed Use
Place or Topic

TIMING
☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Casino
Drawing Title

15 Oct 05
Date

Marianne Cusato
Name of Contact for Additional Information

mcusato@aol.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: This casino is designed for Biloxi & can be on either side of Hwy. 90. The premise of the design is the residential towers (either condos or hotel rooms) are perpendicular to the water. This means they block less of the views from the town and maximize the views from the towers. The building sets on two decks of parking.



V Zone Mixed Use
Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Gautier Fishing Village
Drawing Title

15 Oct 05
Date

Marianne Cusato
Name of Contact for Additional Information

mcusato@aol.com
E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE:



V Zone Mixed Use

Place or Topic

TIMING

☐ Immediate

☒ Medium Term

☒ Long Term

IMPLEMENTATION THROUGH

☒ Design

☐ Policy

☐ Management

Medium-Sized Beach Conference Hotel: T5

Drawing Title

27 Oct 05

Date

Milton W. Grenfell

Name of Contact for Additional Information

grenarch@verizon.net

E-mail address

HOUSING TYPE:

☐ Temporary

☐ Mobile

☐ Modular

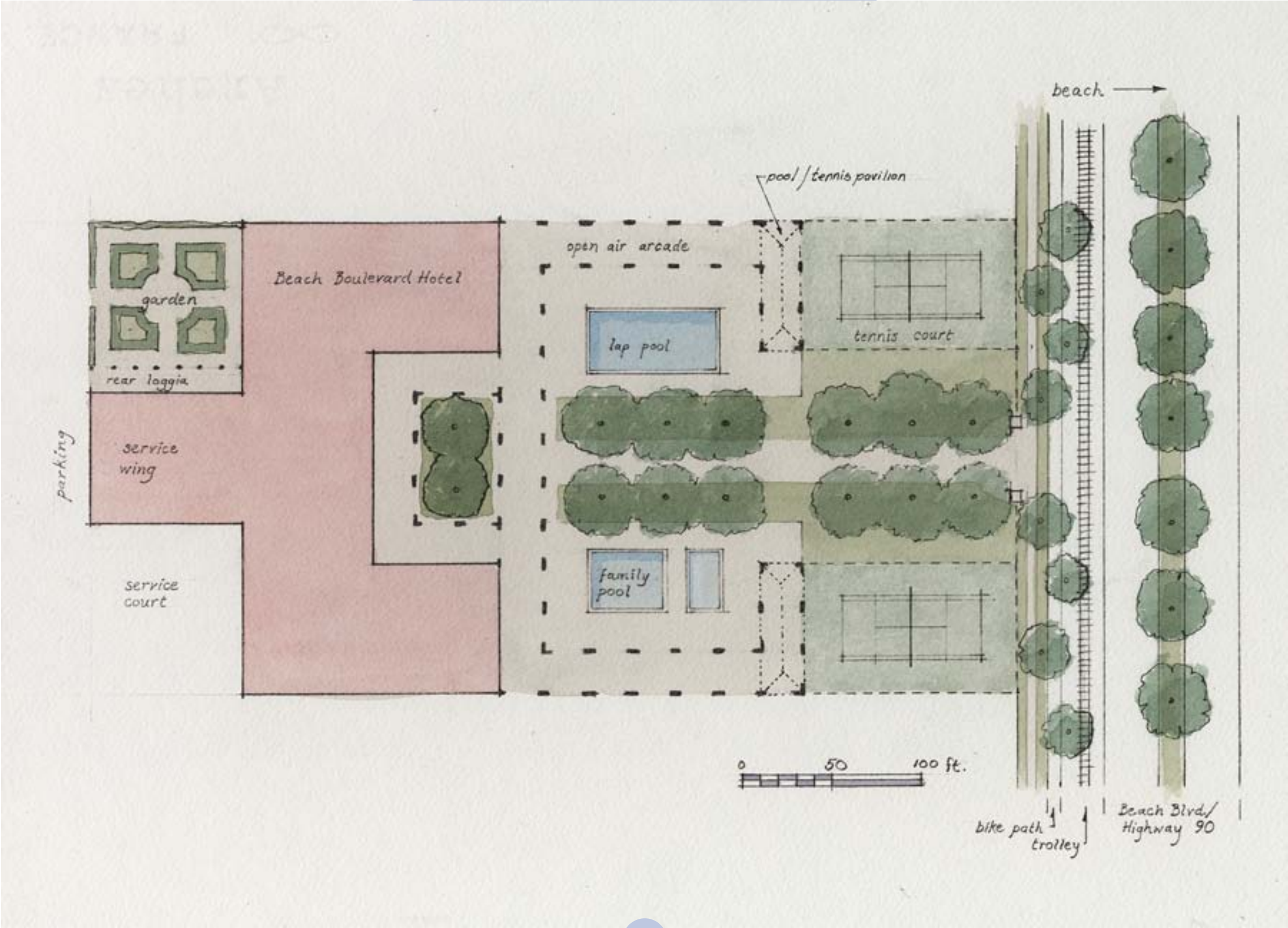
☐ Panelized

☐ Stock Plan

☐ Custom

☒ Commercial

NARRATIVE: This multi-story C-shaped massing maximizes beach view. An entrance from the parking to the front lobby is through a loggia along a walled garden. The small, shady, lushly planted, open-air lobby would set the tone for the visitor. The grandest outdoor living room is the arcade wrapped forecourt with its canopy of live oaks. Beyond is an arcaded pool area with a central bosque of live oak for cooling shade. These outdoor rooms all enjoy Gulf views.



V Zone Mixed Use
Place or Topic

TIMING

- ☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Medium-Sized Beach Conference Hotel: T5
Drawing Title

27 Oct 05
Date

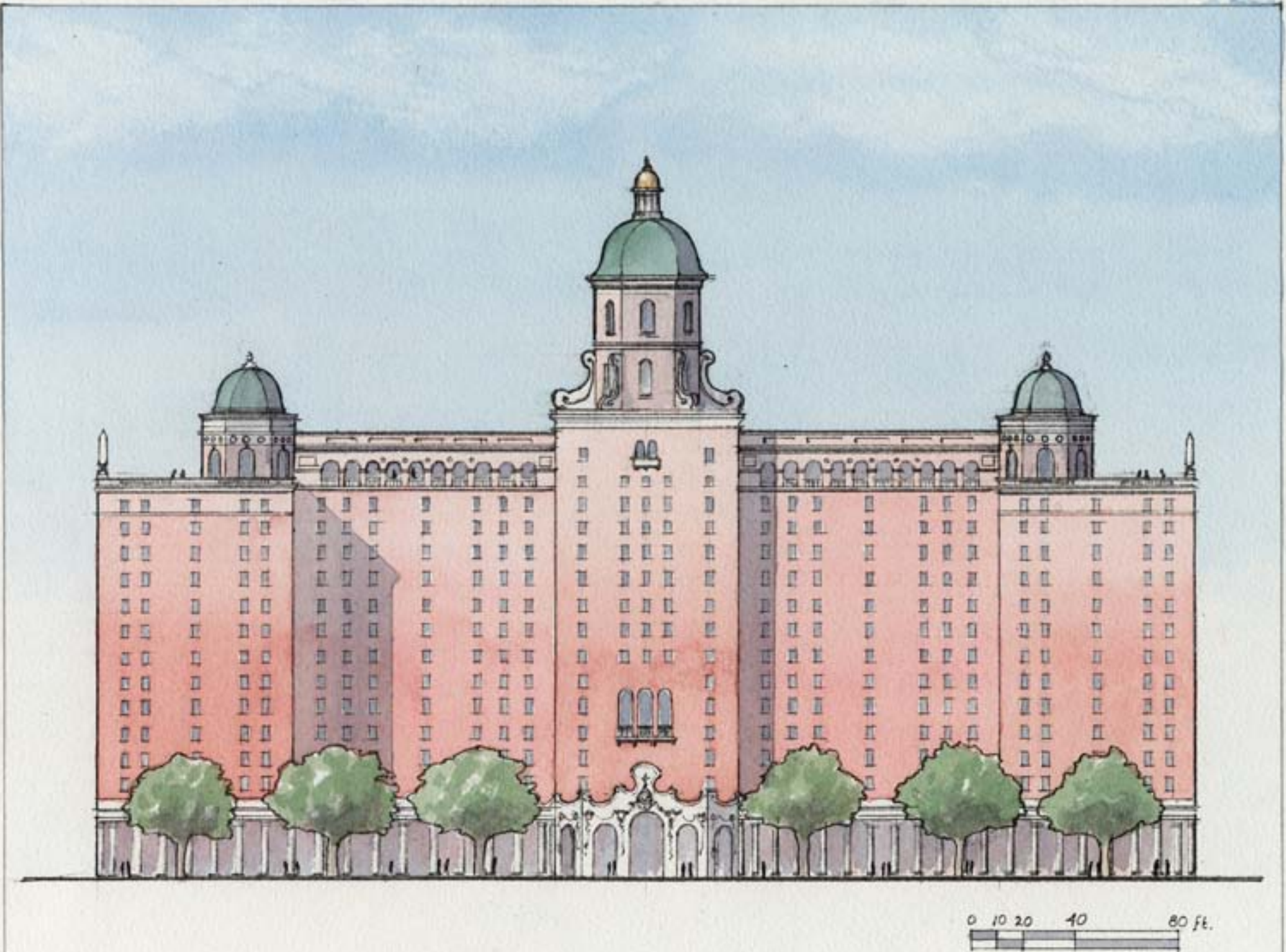
Milton W. Grenfell
Name of Contact for Additional Information

grenarch@verizon.net
E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

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MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONVENOR FOR THE
NEW ORLEANS

V Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
☒ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Large Casino/Hotel Conference Complex: T6

Drawing Title

27 Oct 05

Date

Milton W. Grenfell

Name of Contact for Additional Information

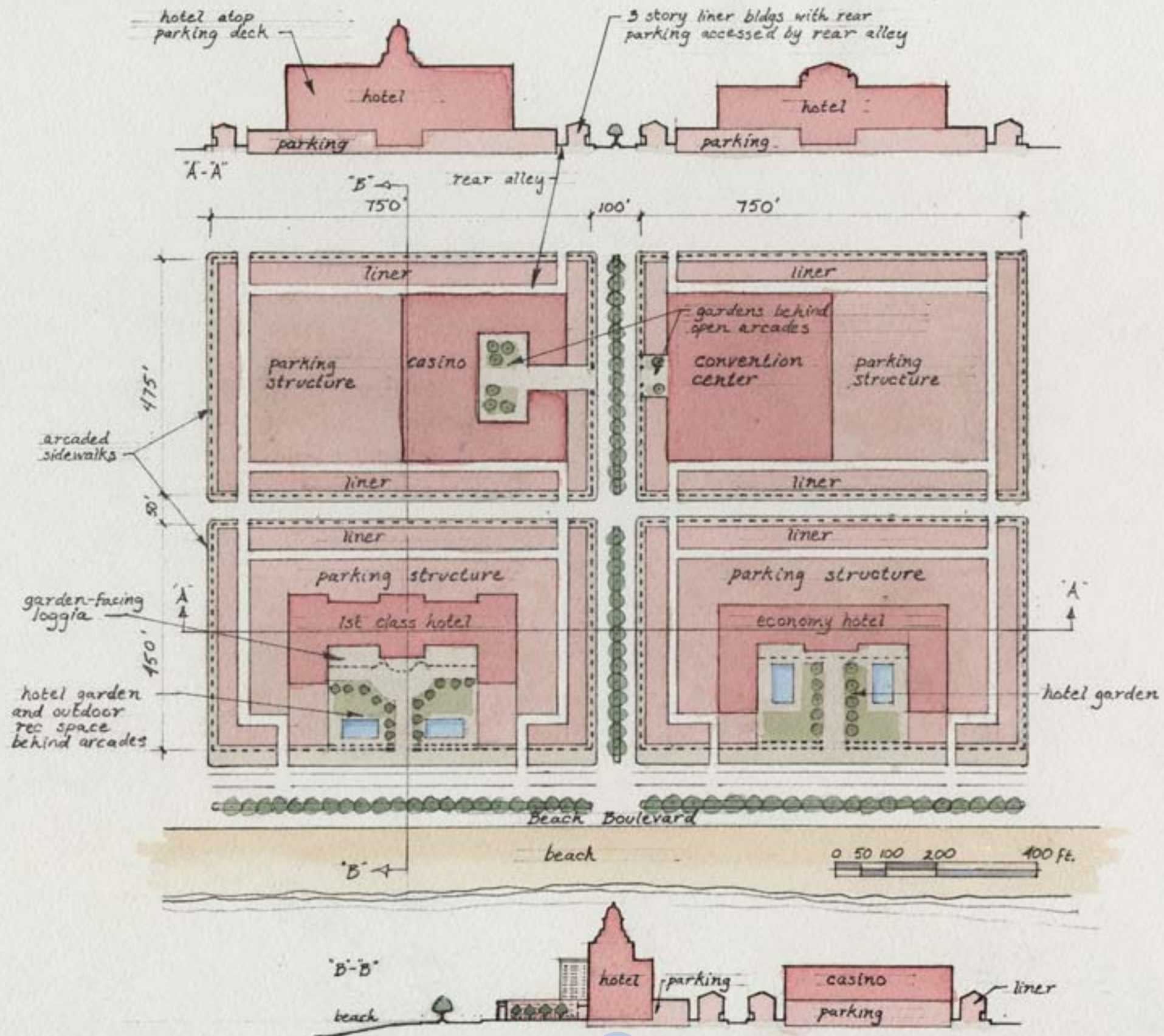
grenarch@verizon.net

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: Designed for a specific four-block, casino-owned site in Biloxi, the various functions of this complex are broken into smaller pieces and distributed to create four finely scaled urban blocks. The structured parking at the lower levels is lined with removeable retail. Two hotels are proposed, each at a different price range, thus capturing a broader market share.



V Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
- ☒ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Large Casino/Hotel Conference Complex: T6

Drawing Title

27 Oct 05

Date

Milton W. Grenfell

Name of Contact for Additional Information

grenarch@verizon.net

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☐ Custom
- ☒ Commercial

NARRATIVE: Designed for a specific four-block, casino-owned site in Biloxi, the various functions of this complex are broken into smaller pieces and distributed to create four finely scaled urban blocks. The structured parking at the lower levels is lined with removeable retail. Two hotels are proposed, each at a different price range, thus capturing a broader market share.



V Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Gulfport Casino

Drawing Title

18 Oct 05

Date

Michael Imber

Name of Contact for Additional Information

mail@michaelgimber.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE:



V Zone Mixed Use
Place or Topic

TIMING
☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Gulfport Casino
Drawing Title

18 Oct 05
Date

Michael Imber
Name of Contact for Additional Information

mail@michaelgimber.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE:

V Zone Mixed Use

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Apartment/Condo

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

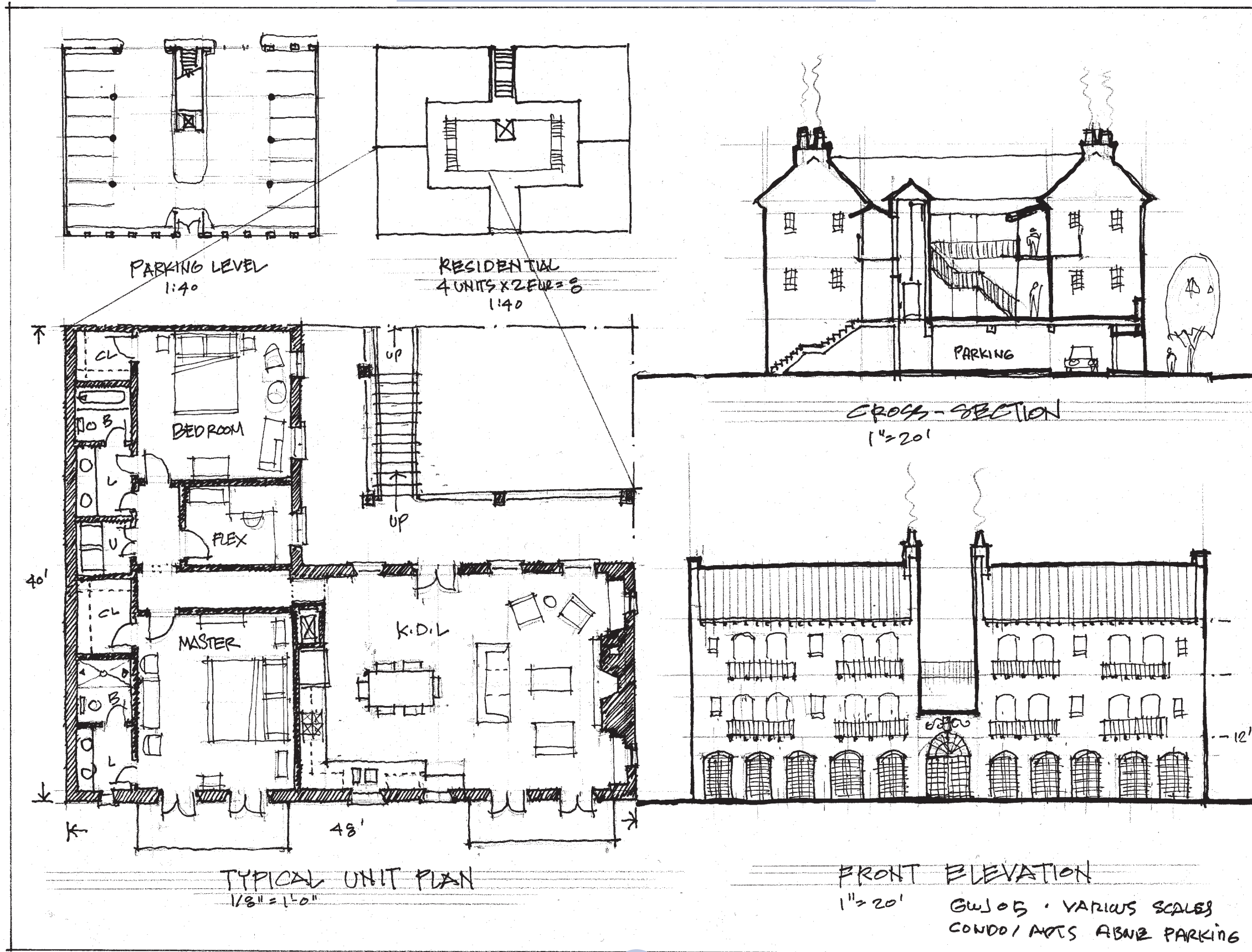
gwjustiss@aol.com

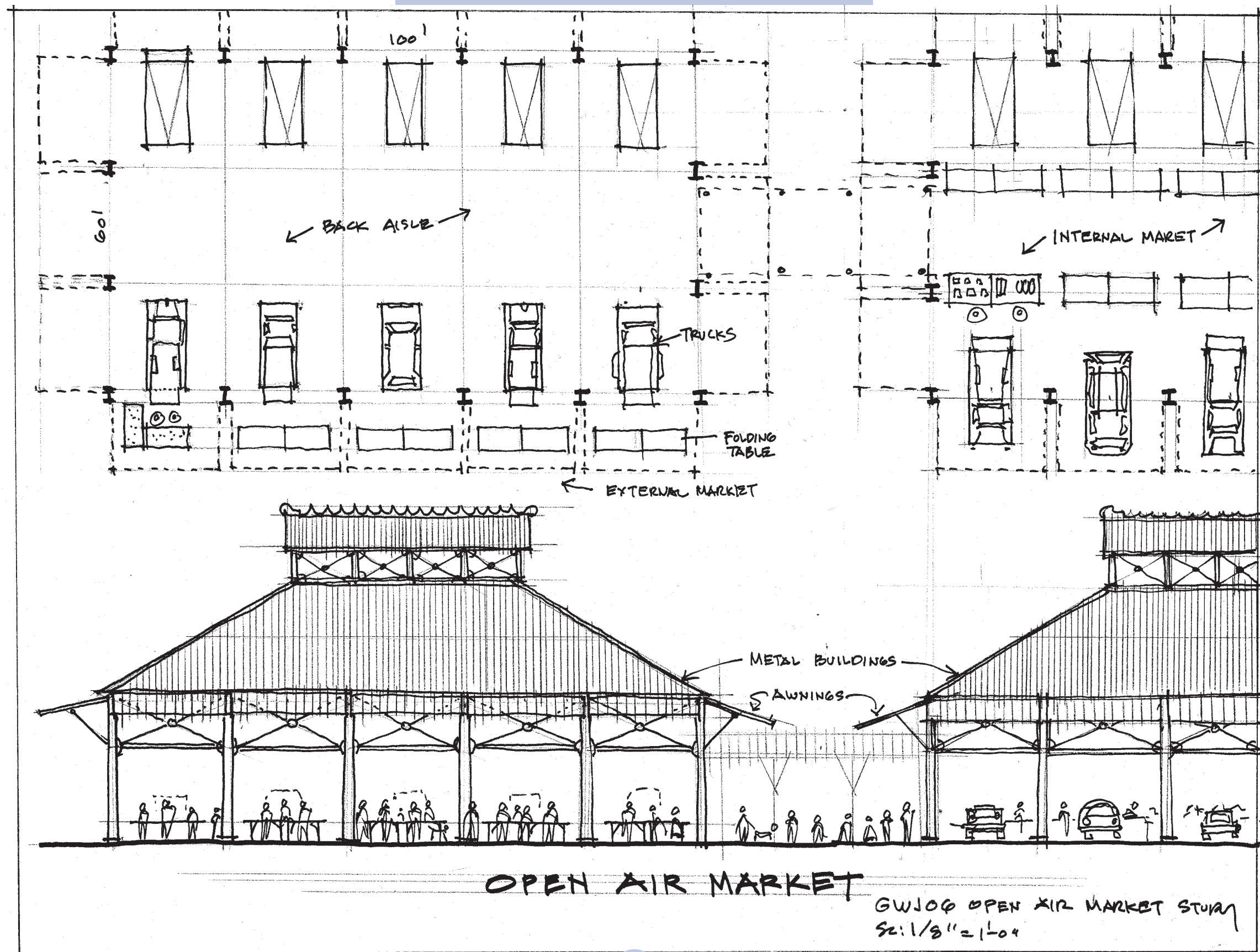
E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: Eight unit courtyard apartment/condo building above parking in a 'V' zone.





MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONGRESS FOR THE
NEW ORLEANS

V Zone Commercial

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Open Air Market

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

gwjustiss@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: Open Air Market design constructed with metal building components to provide quick and easy venues for local farmers & crafts people to sell their products.



V Zone Mixed Use

Place or Topic

TIMING

☐ Immediate

☐ Medium Term

☒ Long Term

IMPLEMENTATION THROUGH

☒ Design

☐ Policy

☐ Management

Apartment Building

Drawing Title

18 Oct 05

Date

Eric Moser

Name of Contact for Additional Information

ericmoser@moserdesigngroup.com

E-mail address

HOUSING TYPE:

☐ Temporary

☐ Mobile

☐ Modular

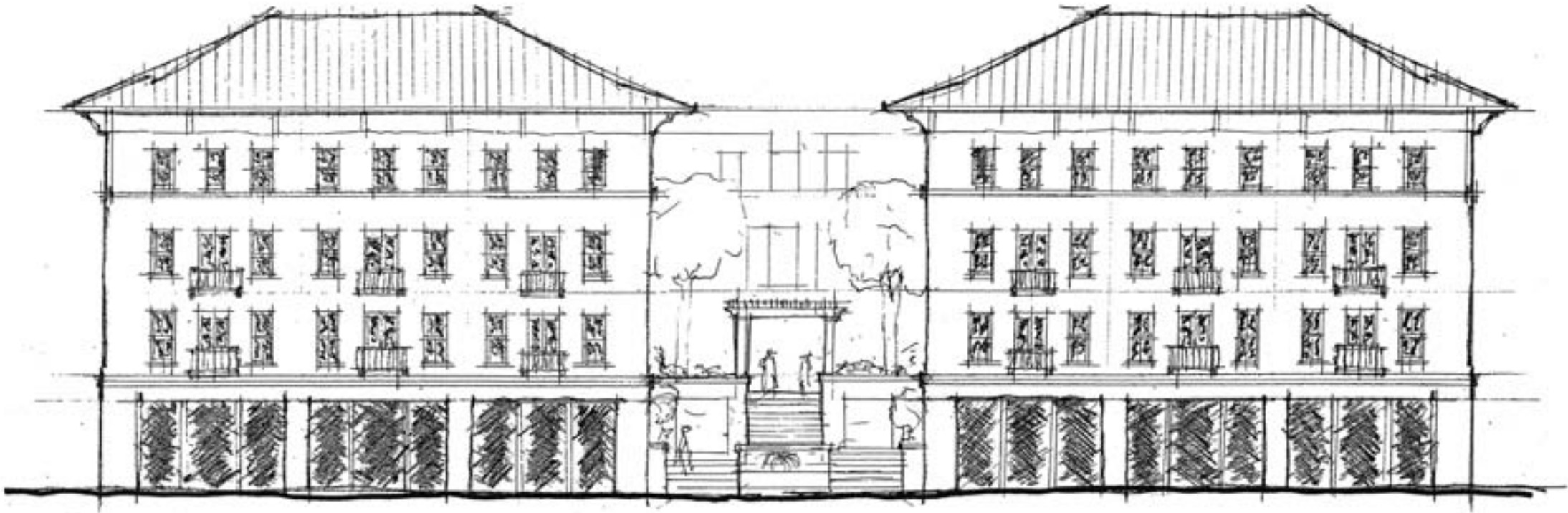
☐ Panelized

☐ Stock Plan

☐ Custom

☒ Commercial

NARRATIVE: Three story courtyard apartments over parking in velocity zone. In A zone, parking may be lined with retail at the street.



APARTMENTS over parking

1/16" = 1'-0"

CHAPTER 6

★CIVIC★





Civic

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Moss Point Landing

Drawing Title

16 Oct 05

Date

Allison H. Anderson, AIA

Name of Contact for Additional Information

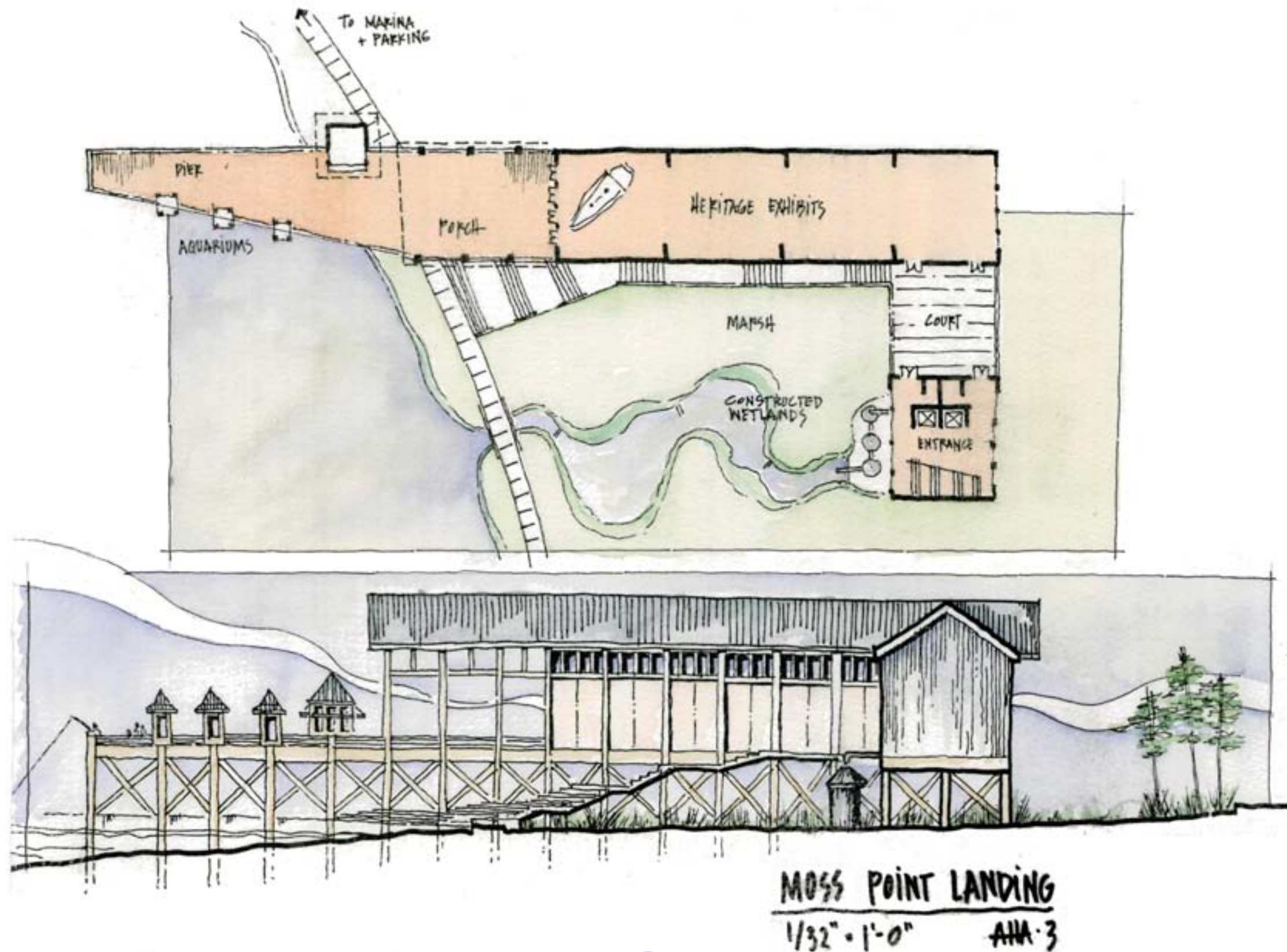
unarch@att.net

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☒ Commercial

NARRATIVE: The Landing is designed to highlight the importance of water in Moss Point's industrial & cultural heritage. A constructed wetland treats greywater to tertiary standards and releases it into the Escatawpa River. Exhibits focus on shipping, fisheries & environmental issues. The downtown boardwalk connects to the project.





Civic

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Axis Termination East - Bayou Cassote

Drawing Title

18 Oct 05

Date

John Anderson

Name of Contact for Additional Information

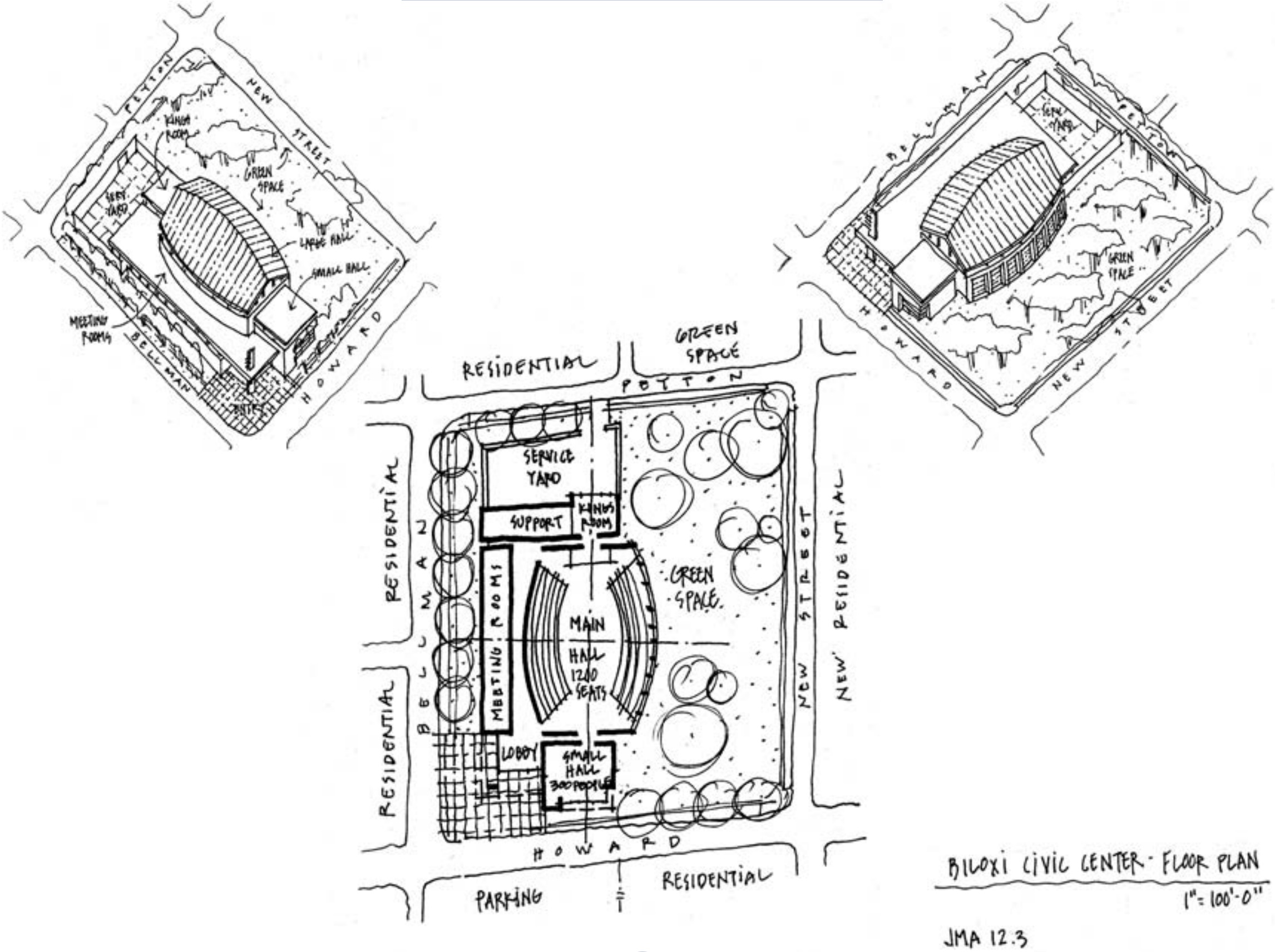
janderson@studioedr.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: End of axis boardwalk and bayou overlook marked by salvaged oil derrick hardware from nearby Chevron plant. Local or regional artist could work with architect to design marker. Pieces within touching distance would give scale to enormous objects in distant view of Chevron.



BILOXI CIVIC CENTER - FLOOR PLAN
1" = 100'-0"

JMA 12.3



Civic
Place or Topic

TIMING
☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH
☒ Design
☐ Policy
☐ Management

Biloxi Civic Center
Drawing Title

18 Oct 05
Date

John Anderson
Name of Contact for Additional Information

janderson@studioedr.com
E-mail address

HOUSING TYPE:
☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: Design for neighborhood / city scale civic center to be used for events such as Mardi Gras balls. Large Hall: 1,500 people, small hall, 300 people and King's Room. 50 people are arranged around a north south axis. Main public entry is at the corner of Howard and Bellman



Civic

Place or Topic

TIMING

- ☐ Immediate
- ☐ Medium Term
- ☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
- ☐ Policy
- ☐ Management

Moss Point Police Station

Drawing Title

16 Oct 05

Date

Christine G. H. Franck

Name of Contact for Additional Information

cghfranck@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
- ☐ Mobile
- ☐ Modular
- ☐ Panelized
- ☐ Stock Plan
- ☐ Custom
- ☐ Commercial

NARRATIVE:



PROPOSED MOSS POINT POLICE STATION

3/32" = 1'-0"

CHRISTINE G. H. FRANCK; OCTOBER 17, 2005



PROPOSED MOSS POINT CITY HALL

$\frac{3}{32}'' = 1' 0''$

CHRISTINE G. H. FRANCK, OCTOBER 17, 2005

MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONVENOR FOR THE
NEW ORLEANS

Civic

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Moss Point City Hall

Drawing Title

16 Oct 05

Date

Christine G. H. Franck

Name of Contact for Additional Information

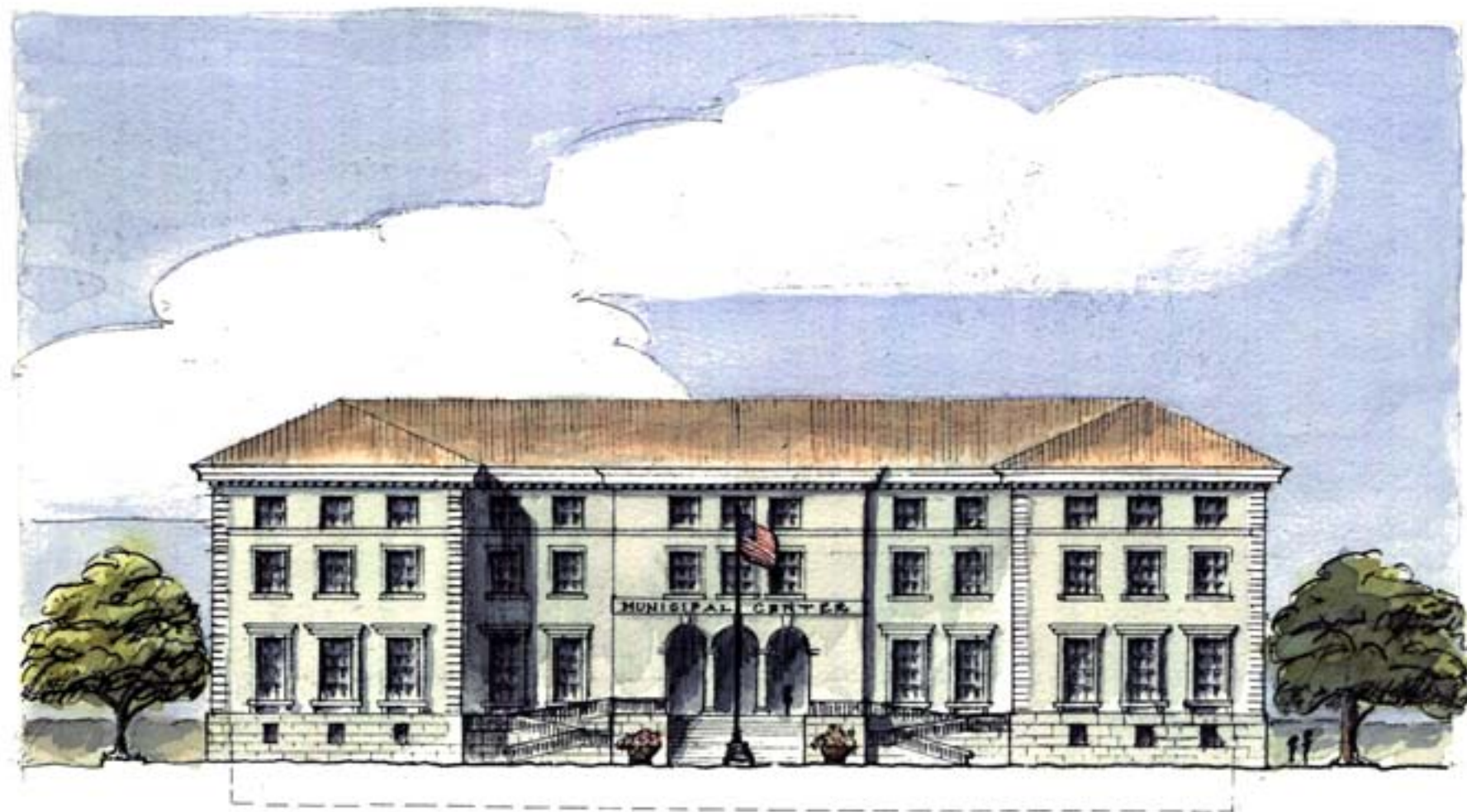
cghfranck@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE:



PROPOSED GULFPORT MUNICIPAL CENTER

3/32" = 2'-0"

CHRISTINE G. H. FRANCK; OCTOBER 17, 2005

0 4 8 12 20



Civic

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Moss Point City Hall

Drawing Title

16 Oct 05

Date

Christine G. H. Franck

Name of Contact for Additional Information

cghfranck@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE:



MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONVENOR FOR THE
New Orleans

Civic

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Gulfport Good Deeds Community Center

Drawing Title

18 Oct 05

Date

Michael Imber

Name of Contact for Additional Information

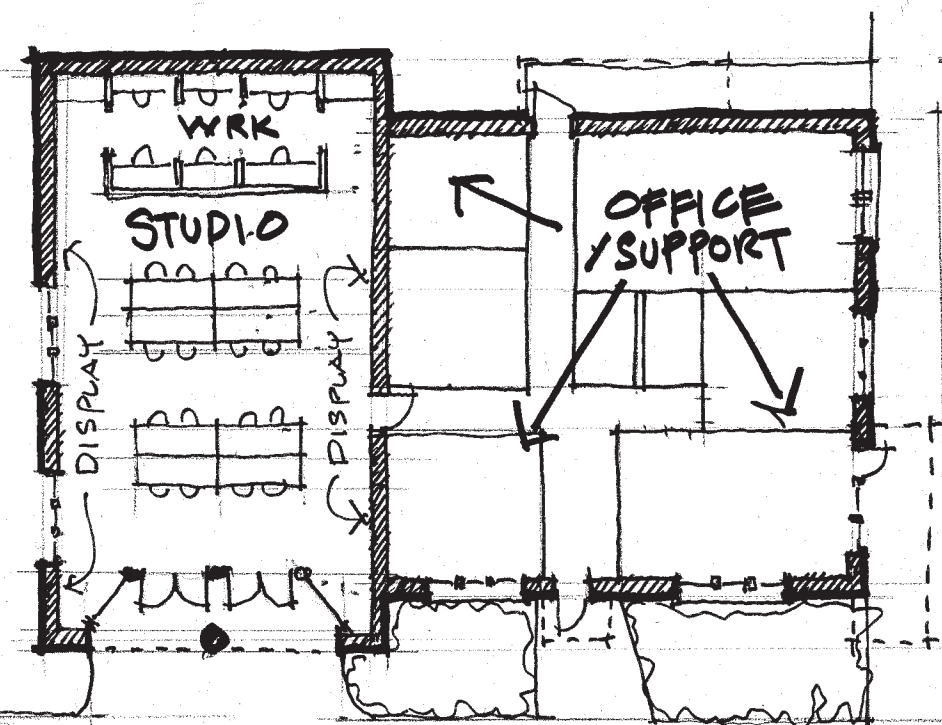
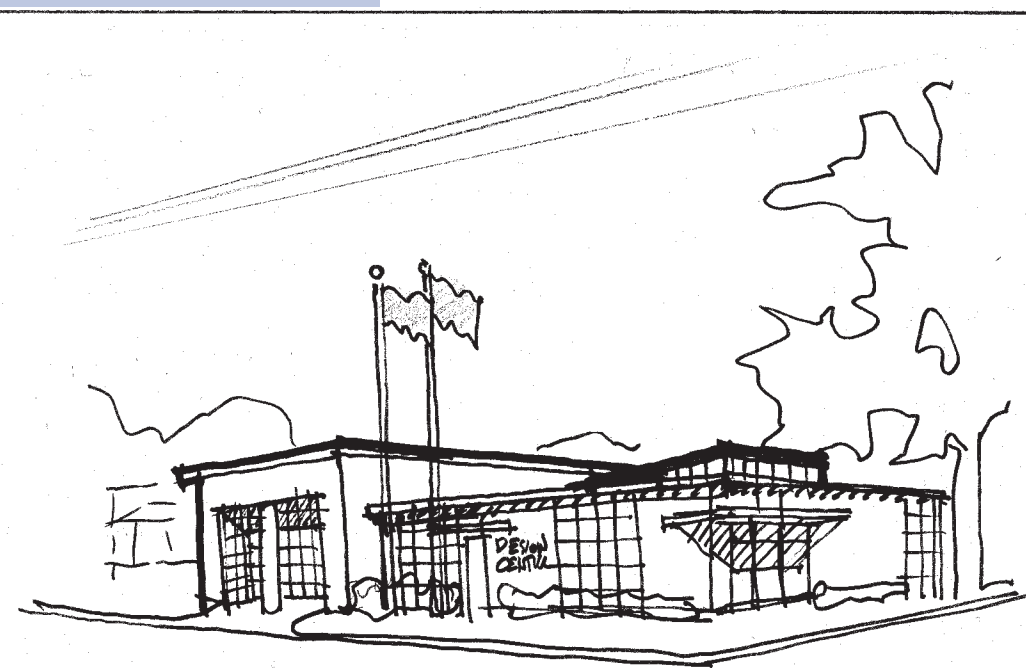
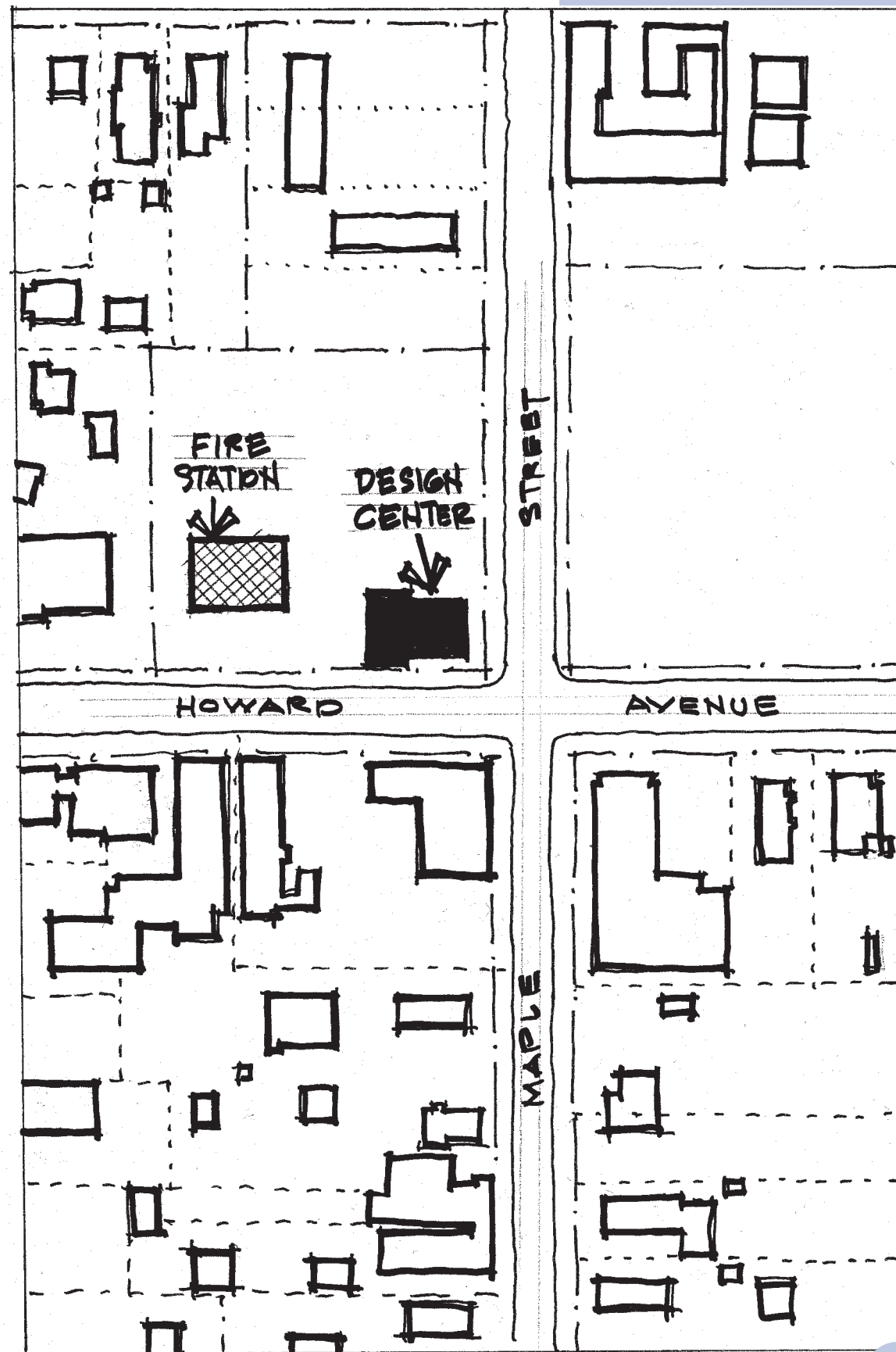
mail@michaelgimber.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE:



FLOOR PLAN

GWJ 04 56: 1/3" = 1'
PUBLIC BUILDING RENOVATED AS DESIGN CENTER

MISSISSIPPI
RENEWAL FORUM

GOVERNOR'S COMMISSION
RECOVERY, REBUILDING, RENEWAL

CNU CONGRESS FOR THE
NEW URBANISM

Civic

Place or Topic

TIMING

- ☐ Immediate
☐ Medium Term
☒ Long Term

IMPLEMENTATION THROUGH

- ☒ Design
☐ Policy
☐ Management

Design Center

Drawing Title

18 Oct 05

Date

Gary William Justiss

Name of Contact for Additional Information

gwjustiss@aol.com

E-mail address

HOUSING TYPE:

- ☐ Temporary
☐ Mobile
☐ Modular
☐ Panelized
☐ Stock Plan
☐ Custom
☐ Commercial

NARRATIVE: Proposal to convert unused civic building into neighborhood Design Center.



SECTION C

★KATRINA SUCCESS ANALYSIS★

PASS CHRISTIAN WEST BEACH HOUSE

★KATRINA★ ★SUCCESS ANALYSIS★

PASS CHRISTIAN
WEST BEACH HOUSE



STEPHEN A. MOUZON
PREPARED FOR THE MISSISSIPPI RENEWAL FORUM
05 OCTOBER 18

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CHAPTER I

★SURROUNDINGS★

The story of this house and its accompanying guest house means little without an understanding of its context. The house is located on West Beach in Pass Christian, one of the hardest-hit areas of the Mississippi Gulf Coast. It is a beachfront house on Highway 90. One reaches the house by driving close to 2 miles from the center of Pass Christian. No other houses survive on this stretch of road, although there are blown-out and partially-collapsed hulks of a few commercial or multi-family buildings closer to the town center.



Further east, one can look past the debris of destroyed beachfront houses and see largely-intact houses behind in the second block. But for at least a very lonely mile before reaching this house, not a single building can be seen as far as the eye can see back into the live oaks.

Further west, there is one neighboring house that survived; a low, grey house built in the 1930’s entirely of reinforced concrete. The neighbors call it “the castle.” Its survival is no secret; it was built like a bunker of thoroughly unconventional construction that is entirely beyond the budget of all except the most wealthy.

But the house that is the subject of this analysis

was not. It is a wood frame, brick veneer house that incorporates features that, while expensive, should not by themselves push most houses into an unaffordable budget range. These features are the basis for the Resistant standard described at the end of this book.

Except for those drawings, the rest of the book is a collection of captioned images, divided into appropriate categories.

FRONT OF PROPERTY LOOKING SOUTH



This is the street view looking East toward what's left of downtown Pass Christian. You have to drive for over a mile to see any other houses standing, and those are further back in the woods.

FRONT OF PROPERTY LOOKING WEST



Mountains of debris along the roadside are all that is left of this house's neighbors. Many of those houses were built post-Camille, and were elevated on stilts above the BFE of 14'.

VIEW EAST FROM TOWER



These scoured fields were once filled with neighbors. If you look closely, you can see the stubs of the stilts that once supported them. The Gulf is visible on the right side of the image.

VIEW NORTHEAST FROM TOWER



This view is further back along the adjacent side street. The debris scattered across this field is all that is left of neighboring houses that complied with FEMA V-Zone regulations.

VIEW NORTH-NORTHEAST FROM TOWER



The water tower in the distance is the only surviving building that can be seen from here. More foundation stubs from obliterated neighboring houses built up on stilts are visible in the middle ground.

VIEW NORTH FROM TOWER



This view is directly north, including the water tower in the distance and the guest house in the foreground. A lake at the rear of the property is in the middle ground. The camper trailer and vehicles beside the lake were brought in after Katrina by the contractor who is beginning to re-build the house.

VIEW SOUTHWEST FROM TOWER



This image illustrates how close the house is to the Gulf. Barely out of view to the right is The Castle; the heavily reinforced concrete house that was the only other survivor in the area.

CHAPTER 2

★EXTERIOR★

This house and guest house were designed seven years ago by Barry Fox, a New Orleans architect. At the time, the house was in the A-Zone. Rather than elevating the house above the flood level, the architect chose to elevate the entire yard to the BFE.

Beginning at the tree in the right side of this image, the grade was raised gradually so that the basement floor is at the BFE of 14'. This created a beneficial situation on several counts. Because the grade was higher at the house, less water would have flowed immediately past the house. Because no stilts were required

due to grading, the house could be much more solidly connected to the ground.

Technically, the house was in an A-Zone, allowing this approach to be used. But during Katrina, several miles of coastline surrounding this house clearly experienced catastrophic V-Zone conditions. Those V-Zone conditions resulted in the total loss of all neighboring houses built on stilts as required in V-Zones. Those houses were built to FEMA standards and nonetheless were utterly annihilated. This house used several techniques illegal in V-Zones, yet survived with shockingly little damage,

given the severity of the storm surge. This calls into serious question whether FEMA V-Zone standards are actually the best way to protect buildings. Currently, raising the building on stilts is the only tool in the FEMA toolbox. Others should seriously be considered.

Specifically, filling to raise the site and excluding water flow under the building should be considered if the owner takes measures to reduce the likelihood of damage to adjacent properties.



VIEW FROM STREET



The building on the right with the tower is the main house. The other one is the guest house.

VIEW FROM JUST INSIDE FENCE



Fill of the yard to an elevation of 14' at the house begins just behind the tree. The pool terrace wall can be seen at the left of this image. This wall likely is responsible for the very light damage to the guest house beyond. A house as substantial as this is not allowed by FEMA in V-Zones. FEMA says that they allow break-away walls to approximate the look of this house, but then they hold municipalities liable for enforcing the ban on habitable space in the basement. Because non-compliance by a small number of properties could result in loss of flood insurance by every citizen in the entire municipality, no municipality in their right mind would allow opaque break-away walls because it makes enforcement much more difficult. In other words, municipalities are highly likely to require transparent basements. Transparent basements result in architecture like that of the houses of Myrtle Beach, South Carolina, which is occasionally referred to as "Stilt City." By effectively banning houses of the stature of this one, FEMA is destroying probably billions of dollars of real estate value along the Gulf Coast. But this value doesn't just affect wealthy people. Cheaper stilt houses don't generate as much income for the local construction community, and they generate substantially less property tax revenue for as long as they stand.

GUEST HOUSE & MAIN HOUSE



This image shows the right-to-left relationship of the two buildings.

GUEST HOUSE FRONT ELEVATION



This straight-on view of the guest house includes the pool terrace wall below. Note that the sand in the foreground is deposited on top of the grass from the beach across the street. There is no evidence of scouring or trenching, although this was noted by FEMA representatives to be a likely consequence of altering existing grades. Clearly, more study of filling in V-Zones needs to take place, since the conditions FEMA predicted did not occur here.

MAIN HOUSE FRONT ELEVATION



The storm surge came up to just under the second floor level, judging from exterior damage and lack of any apparent water damage in upstairs rooms. The main level is about 10' tall; the basement is about 8'. This, coupled with about 6' of fill material around the house equates to a storm surge on adjacent unfilled land of about 24' above grade, or 32' above sea level. The kitchen wing to the right obviously sustained the heaviest damage, possibly due to the fact that the protecting fill ends abruptly at the right wall of the kitchen to allow access to the garage in the basement under the kitchen.

FRONT BASEMENT WALL



The basement wall is punctuated by one low window in each bay. This allowed water to flow into the basement, but it was not able to flow out because the back of the house was filled to just under the main floor level of 22'. FEMA does not allow this condition in a V-Zone, yet it likely contributed to the success of this house in the storm. Note scour of less than 16" at porch piers. Is there much doubt that there would have been substantially more scour at the foundations if the water had been able to flow freely under the house?

FRONT PORCH STAIR



Note lack of scour at the foot of the stair, where grass remains. Note also the heavy masonry stair, which undoubtedly braced the porch. On the other hand, it may have contributed to heavier damage surrounding the front door by acting as a chute for rushing storm surge waters.

KITCHEN BLOW-OUT



Front and rear walls of the kitchen wing blew out, but the building did not collapse. This may be due in part to tubular galvanized steel columns observed at all corners of outside walls where wall sheathing had been stripped away. Also, the right wall of the kitchen stood, complete with kitchen cabinets still attached. Retaining wall in lower right corner of image is at edge of excavation for basement garage below kitchen, making this the portion of the house that is least protected by front yard fill, with predictable results.

DINING ROOM BAY



This bay is adjacent to the kitchen, and has been stripped bare, exposing galvanized tubular steel columns that support untouched roof structure above.

STUDY WING



The study wing is opposite the kitchen wing, and illustrates the value of added protection from front yard fill. The elliptical window and the panel below it blew out, but the rest of the wall is relatively undamaged, in contrast with the kitchen wall. Just to the left of this wing is the pool terrace.

FRONT PORCH



Wood porch columns surrounded galvanized tubular structural steel columns. The wood columns were crushed, but the structural steel held up the porch above, which was entirely undamaged except for the corner column, which was apparently hit by a wind-driven object traveling several feet above the waves.

POOL TERRACE WALL



The pool terrace wall is about 6' tall, and is backed by earth fill. Brick veneer was shattered and fell off, but the wall structure was not damaged. This wall broke the force of the waves as effectively as any single element on the site, resulting in very light damage to the guest house beyond.

GUEST HOUSE



First level porch columns were shattered and two doors blew out, but the pool terrace wall protected the guest house so well that no walls failed. Obviously, this type of protection that was responsible for saving this building is illegal in V-Zones.

BACK PORCH



The rear terrace was created by filling the site an additional 8' behind the building to nearly the 22' elevation of the main level of the house. This fill, which would be illegal in a V-Zone, clearly helped support the back basement wall against the storm surge.

REAR OF STUDY WING



The wall panel below the rear study window blew out, but the window remained intact. Window manufacturer and type are undetermined, but they apparently are not Miami-Dade code. Nonetheless, they performed well in locations not hit by storm surge.

SWIMMING POOL



This is the swimming pool and terrace, as viewed from the guest house, looking toward the Gulf.

FRONT YARD FILL



This view illustrates the substantial quantity of fill when compared with adjacent land.

FRONT YARD FILL



Another view of the front yard fill.

CHAPTER 3

★INTERIOR★

The interior of this house revealed several items of interest. The second level interior escaped with no damage whatsoever other than stained ceilings from roof leaks caused by loss of slate shingles. The FEMA presentation on Saturday of the Mississippi Renewal Forum presented a number of houses that were termed “survivors” or “successes.” Most of the survivors were reduced to not much more than a structural frame. Most of the successes had significant damage to the point of being uninhabitable. The second level of this house, however, could easily be lived in today if the utilities were repaired and restored. These images are shocking when one realizes that the adjacent neighboring houses built on stilts as required in a V-Zone simply do not exist any longer, and that the debris of their destruction is spread inland probably a half mile.

The first level was damaged, of course, because it was below the crest of the storm surge. There are several lessons concerning storm surge survival. The first lesson is simply that storm surge survival is possible without catastrophic structural failure.

All FEMA regulations are built around the mis-

taken notion that storm surge survival is impossible, and that the only solution is to raise the house above the storm surge crest. Unfortunately, when an event like this occurs that significantly exceeds the BFE, the houses often are destroyed entirely.

It therefore seems advisable to allow an alternate and optional design method which presumes the building will be hit by storm surge and protects against it.

If the building is assumed to be partially or fully inundated, then this method should include the selection of load-bearing and sheathing materials able to withstand be-

ing underwater for a short period of time, then dry out and perform as intended. This precludes paper-faced gypsum sheathing, for example. Some finish materials (such as wood flooring or sheetrock) may not meet this standard, but they can be replaced without destroying other materials, whereas replacement of structural or sheathing elements usually requires the destruction of every other material that overlays them.



ENTRY HALL TOWARDS FRONT



The kitchen is to the left; study is to the right.

KITCHEN FLOOR



Because the solid back wall of the basement did not fail due to fill behind it, water injected into the basement had nowhere to go but up. The kitchen wing was less protected by front yard fill, so the forces on this side of the house obviously were greater. The floor joists in this area came out of their hangers, displacing large sections of floor especially at the back wall where the upward thrust would have been greatest. But the joist spans were relatively short, resulting in closely-spaced girders that remained in place, laterally supporting the tops of basement walls.

KITCHEN FLOOR



This is another view of the kitchen floor looking down into the basement.

STUDY FLOOR



The study floor displaced slightly, but did not fail.

DOUBLE DECKING



Main level floors were double-decked, and were glued and screwed to each other and to the supporting structure. This apparently contributed to large chunks of floor system acting together rather than shattering into smaller pieces. If so, then it would have also contributed to the survival of many areas of flooring.

CORNER COLUMNS



This is an interior view of steel columns embedded in the wall.

KITCHEN WALL



The kitchen wall has most of the wall cabinets and finishes still attached.

GUEST HOUSE



Damage in the guest house is constrained to the bottom 3' of the sheetrock and buckling of the wood flooring.

SECOND LEVEL



Stair to tower in nearly-untouched second level.

SECOND LEVEL



Rocking chair and plant sit just as they have since late August.

SECOND LEVEL



The bedroom appears untouched except for missing furniture, which was assumed to be removed by the owner.

CHAPTER 4

★SYSTEMS★

Currently, FEMA has only one tool, which is the raising of buildings above the storm surge. When the only tool you have is a hammer, everything starts looking like a nail. There are other methods that perform better, as this house clearly illustrates. We propose that current FEMA standards and practices be changed through whatever means necessary as follows:



- A. Make FEMA standards performance-based, not prescriptive as they are at this time. This means that they should allow for the creativity of the designer in arriving at a system that works as well or better than the current prescriptive standard, which leaves no room for creative solutions and new methods.
- B. Allow fill material to be used in V-Zones under certain conditions which would include comprehensive planning of fill on neighboring lots with the intent that water flow deflected from one house not damage an adjacent house.
- C. Allow building design in a V-Zone at less than the BFE, understanding that these

buildings will occasionally be hit by storm surge. Design these buildings at one of three Levels of Strength (Compliant, Resistant, and Hardened) according to hazard level and building importance. These three Levels of Strength are illustrated on subsequent pages. The allowable projection below the BFE shall be determined according to building type, risk level, and level of strength. Risk level shall include a factor recognizing the mutually-protecting effect of densely-placed urbanism, whether the units are attached (townhouses or Main Street buildings) or closely adjacent.

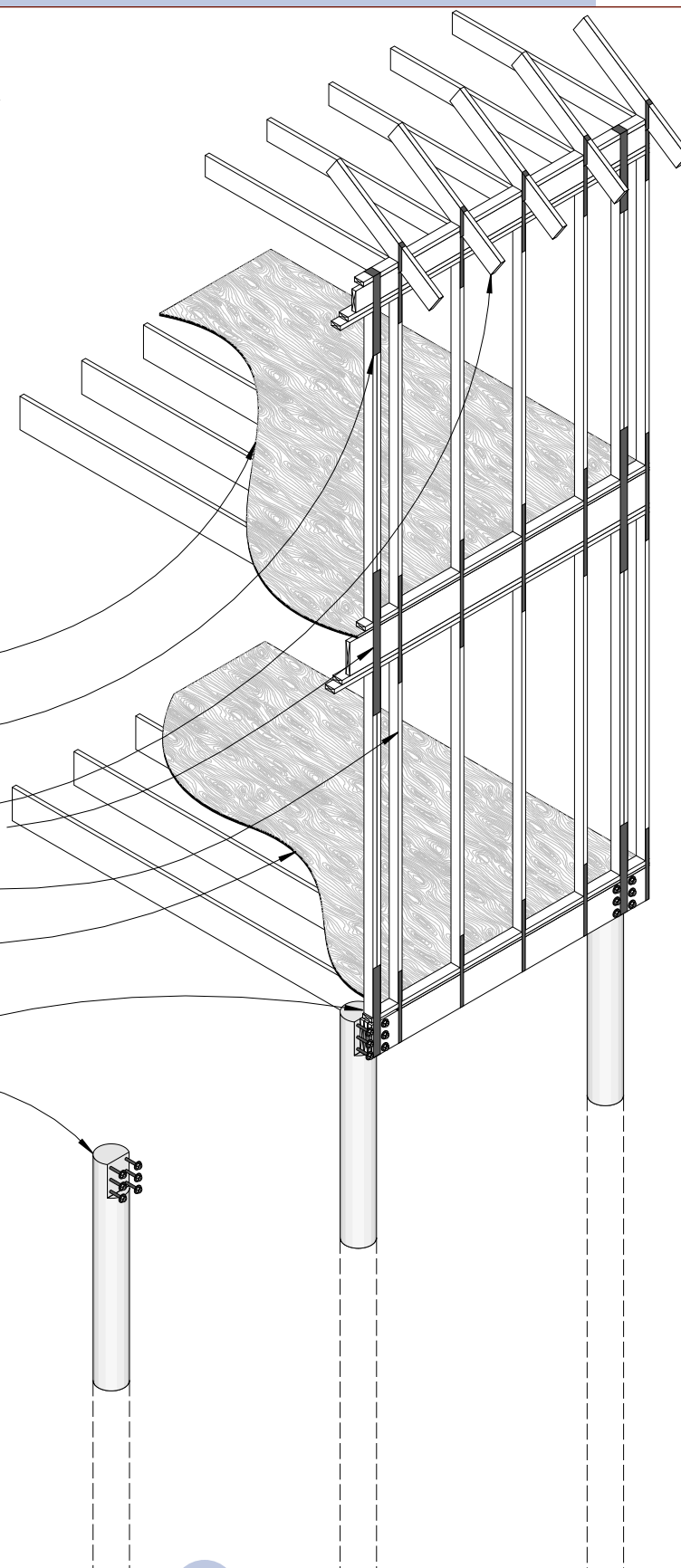
- D. Allow portions of buildings to be self-insured. This will remove the onerous requirement upon municipalities of checking for inhabitation of the lower level, allowing buildings to properly meet the ground and thereby preserving the property values of lots that have heretofore been occupied by mansions, not stilt houses. This will also allow retail spaces to occur in a proper relationship to the street so that the businesses have a chance to thrive, not fail.

COMPLIANT I

NOTES:

- A. The following are not final construction specification, but are general minimum standards only. Every part of a structure shall be designed by a structural engineer to resist the imposed loads. Structural elements may be made stronger by the structural engineer if required by design calculations, but they may not be made weaker than required by these standards.
- B. The Compliant standard is the lowest, constituting in most cases the minimum standards required to be in compliance with current building codes. A few items, such as the piling reinforcement, are set to a higher standard. It is intended to be used on the most affordable buildings.
- C. All structural elements including sheathing shall be water-resistant so that the building may be inundated, dry out, and no part of the structure will be ruined as a result.
- D. Stack-frame building so that roof framing, studs and joists all center over each other. This facilitates strapping. Minimum components of a Compliant structure are as follows:

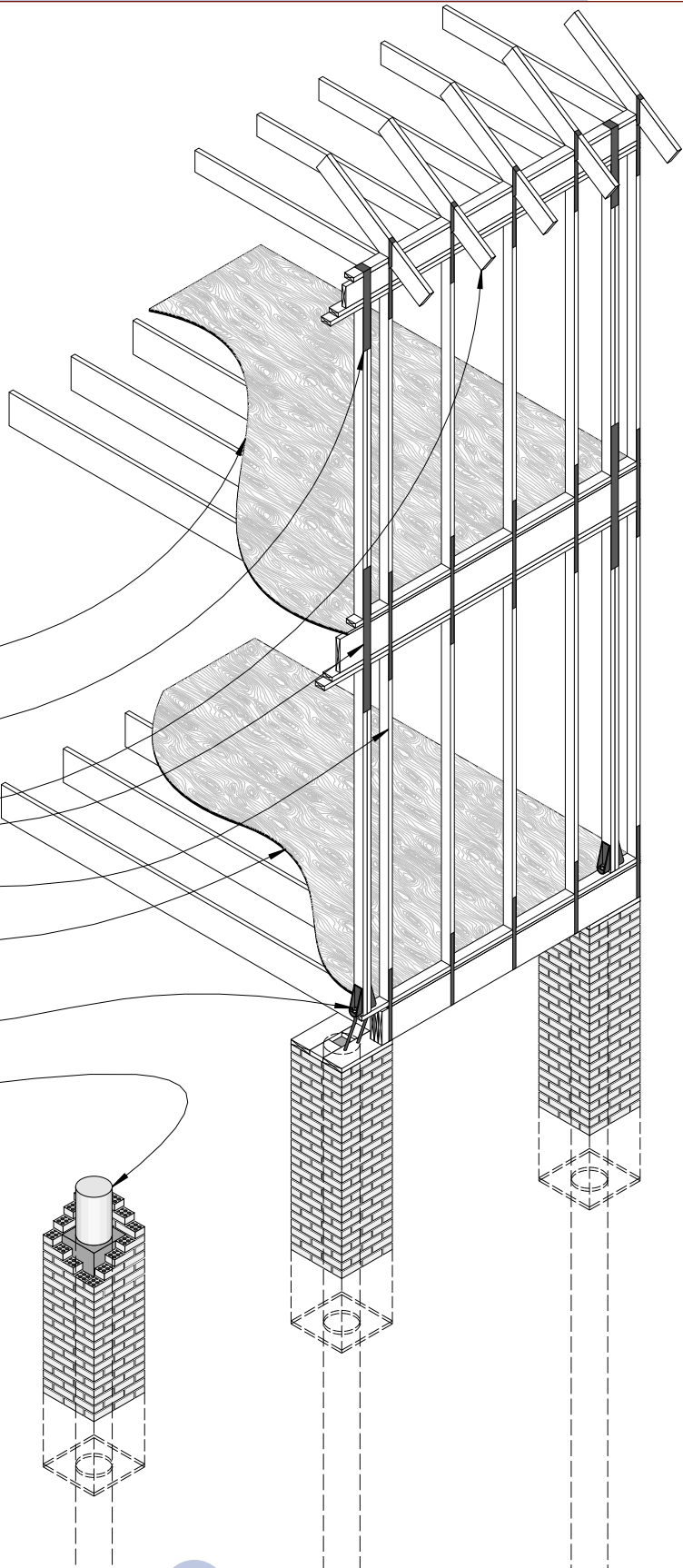
- 3/4" minimum T&G subfloor on floor framing spaced no further apart than 24" OC
- double studs centered on each pier strapped over top plate above with galvanized fasteners
- 5/8" minimum T&G roof sheathing on roof framing 24" OC maximum strapped across plates and bands to studs below with galvanized fasteners
- strap across plates and bands to connect studs in wall above to studs in wall below frame wall w/ minimum 2x4 wood studs spaced no further apart than 24" OC
- 3/4" minimum PT T&G floor sheathing glued and screwed to floor framing as required by code
- anchor double studs centered over pilings with galvanized straps to floor beam which is bolted to wood pilings as required by structural engineer
- wood pilings to depth required by structural engineer



COMPLIANT 2

NOTES:
A. The following are not final construction specification, but are general minimum standards only. Every part of a structure shall be designed by a structural engineer to resist the imposed loads. Structural elements may be made stronger by the structural engineer if required by design calculations, but they may not be made weaker than required by these standards.
B. The Compliant standard is the lowest, constituting in most cases the minimum standards required to be in compliance with current building codes. A few items, such as the piling reinforcement, are set to a higher standard. It is intended to be used on the most affordable buildings.
C. All structural elements including sheathing shall be water-resistant so that the building may be inundated, dry out, and no part of the structure will be ruined as a result.
D. Stack-frame building so that roof framing, studs and joists all center over each other. This facilitates strapping. Minimum components of a Compliant structure are as follows:

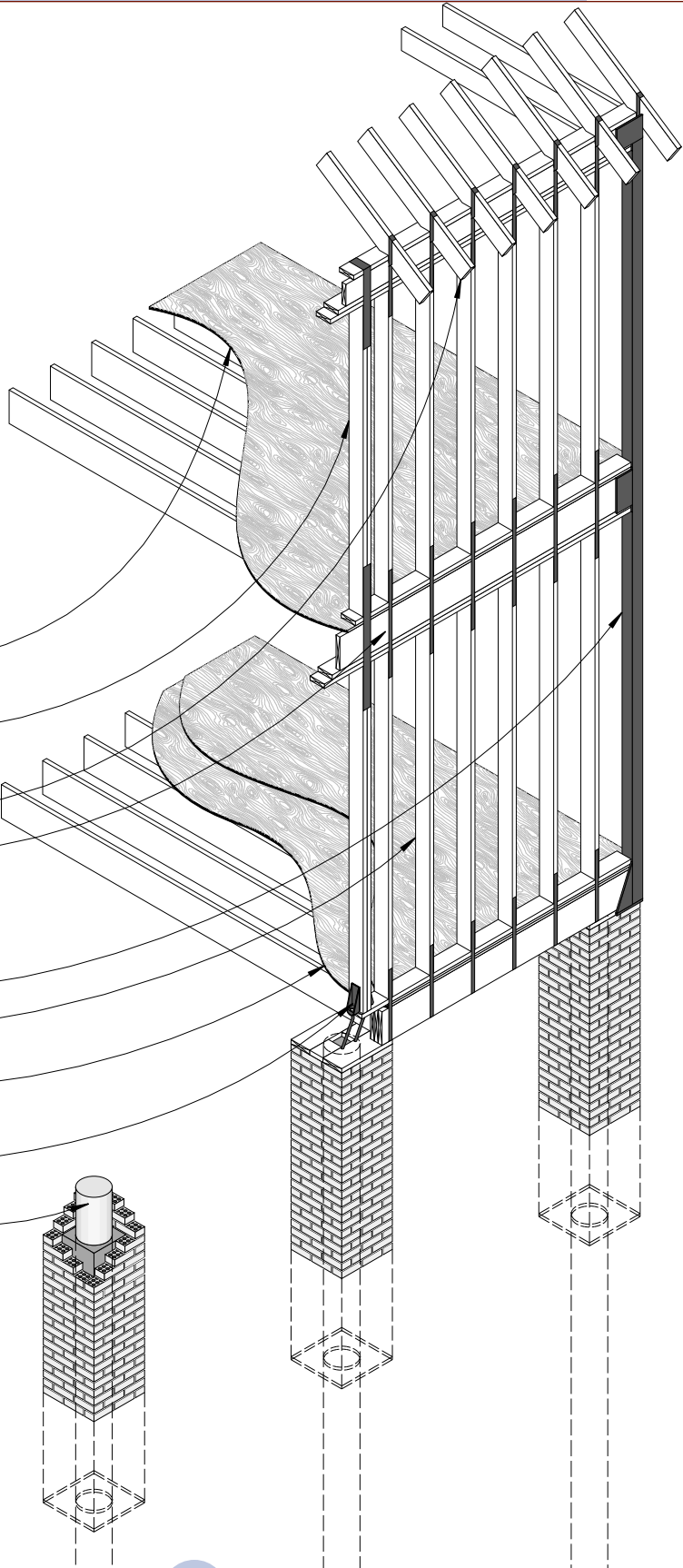
- 3/4" minimum T&G subfloor on floor framing spaced no further apart than 24" OC
- double studs centered on each pier strapped over top plate above with galvanized fasteners
- 5/8" minimum T&G roof sheathing on roof framing 24" OC maximum strapped across plates and bands to studs below with galvanized fasteners
- strap across plates and bands to connect studs in wall above to studs in wall below
- frame wall w/ minimum 2X4 wood studs spaced no further apart than 24" OC
- 3/4" minimum PT T&G floor sheathing glued and screwed to floor framing as required by code
- anchor double studs centered over piers with galvanized anchors that either weld directly to piling or embed in concrete fill of pier
- steel pilings to depth required by structural engineer sheathed by brick pier filled solid with concrete to 24" below grade



RESISTANT

NOTES:
A. The following are not final construction specification, but are general minimum standards only. Every part of a structure shall be designed by a structural engineer to resist the imposed loads. Structural elements may be made stronger by the structural engineer if required by design calculations, but they may not be made weaker than required by these standards.
B. The Resistant standard is intermediate, constituting all elements required to be in compliance with current building codes, but adding some items known to enhance the survivability of buildings. It is intended to be used on private buildings in high-risk areas.
C. All structural elements including sheathing shall be water-resistant so that the building may be inundated, dry out, and no part of the structure will be ruined as a result.
D. Stack-frame building so that roof framing, studs and joists all center over each other. This facilitates strapping. Minimum components of a Compliant structure are as follows:

- 3/4" minimum T&G subfloor on floor framing spaced no further apart than 16" OC
- double studs centered on each pier strapped over top plate above with galvanized fasteners
- 3/4" minimum T&G roof sheathing on roof framing 16" OC maximum strapped across plates and bands to studs below with galvanized fasteners
- strap across plates and bands to connect studs in wall above to studs in wall below
- reinforce all corners of exterior walls w/ 3-1/2" x 3-1/2" x 1/4" minimum tubular steel columns extending from and anchored to pier at base to roof structure at top; run continuous through intermediate floors (provide welded connector to receive intermediate floor frame wall w/ minimum 2X6 wood studs spaced no further apart than 16" OC)
- double 3/4" minimum PT T&G subfloor glued and screwed to floor framing with 25% more screws than required by code
- anchor double studs centered over piers with galvanized anchors that either weld directly to piling or embed in concrete fill of pier
- steel pilings to depth required by structural engineer sheathed by brick pier filled solid with concrete to 36" below grade



HARDENED 1

NOTES:

A. The following are not final construction specification, but are general minimum standards only. Every part of a structure shall be designed by a structural engineer to resist the imposed loads. Structural elements may be made stronger by the structural engineer if required by design calculations, but they may not be made weaker than required by these standards.

B. The Hardened standard is the highest, and is intended to be used in the highest-risk areas, or for the most important buildings.

C. All structural elements including sheathing shall be water-resistant so that the building may be inundated, dry out, and no part of the structure will be ruined as a result.

Minimum components of a Hardened structure are as follows:

3/4" minimum T&G roof sheathing on roof framing 16" OC maximum strapped to concrete or masonry wall below with galvanized fasteners

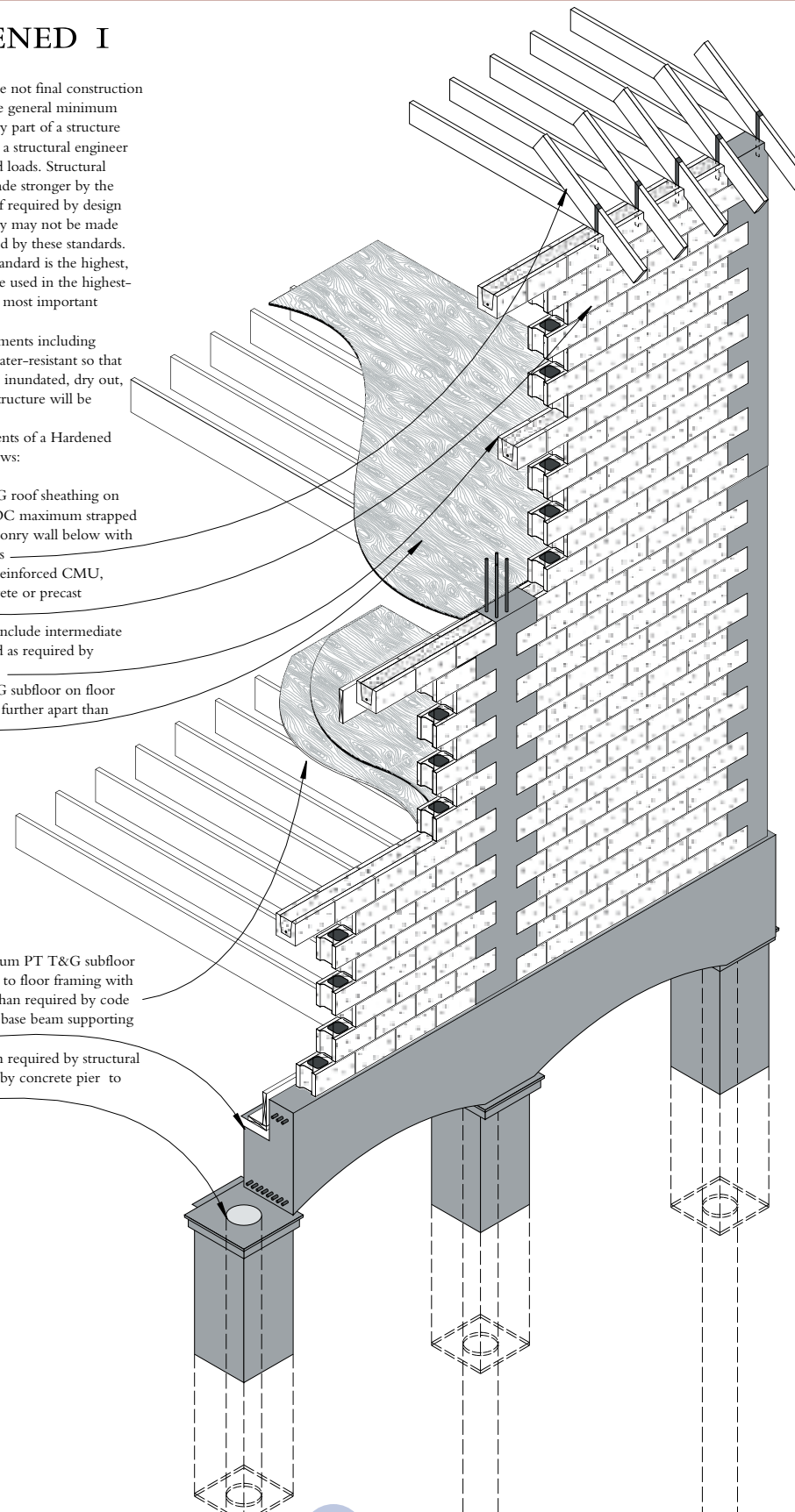
8" thick minimum reinforced CMU, cast-in place concrete or precast concrete wall

if CMU, wall shall include intermediate bond beams spaced as required by structural engineer

3/4" minimum T&G subfloor on floor framing spaced no further apart than 16" OC

double 3/4" minimum PT T&G subfloor glued and screwed to floor framing with 50% more screws than required by code reinforced concrete base beam supporting first floor

steel pilings to depth required by structural engineer sheathed by concrete pier to 48" below grade



HARDENED 2

NOTES:

A. The following are not final construction specification, but are general minimum standards only. Every part of a structure shall be designed by a structural engineer to resist the imposed loads. Structural elements may be made stronger by the structural engineer if required by design calculations, but they may not be made weaker than required by these standards.

B. The Hardened standard is the highest, and is intended to be used in the highest-risk areas, or for the most important buildings.

C. All structural elements including sheathing shall be water-resistant so that the building may be inundated, dry out, and no part of the structure will be ruined as a result.

Minimum components of a Hardened structure are as follows:

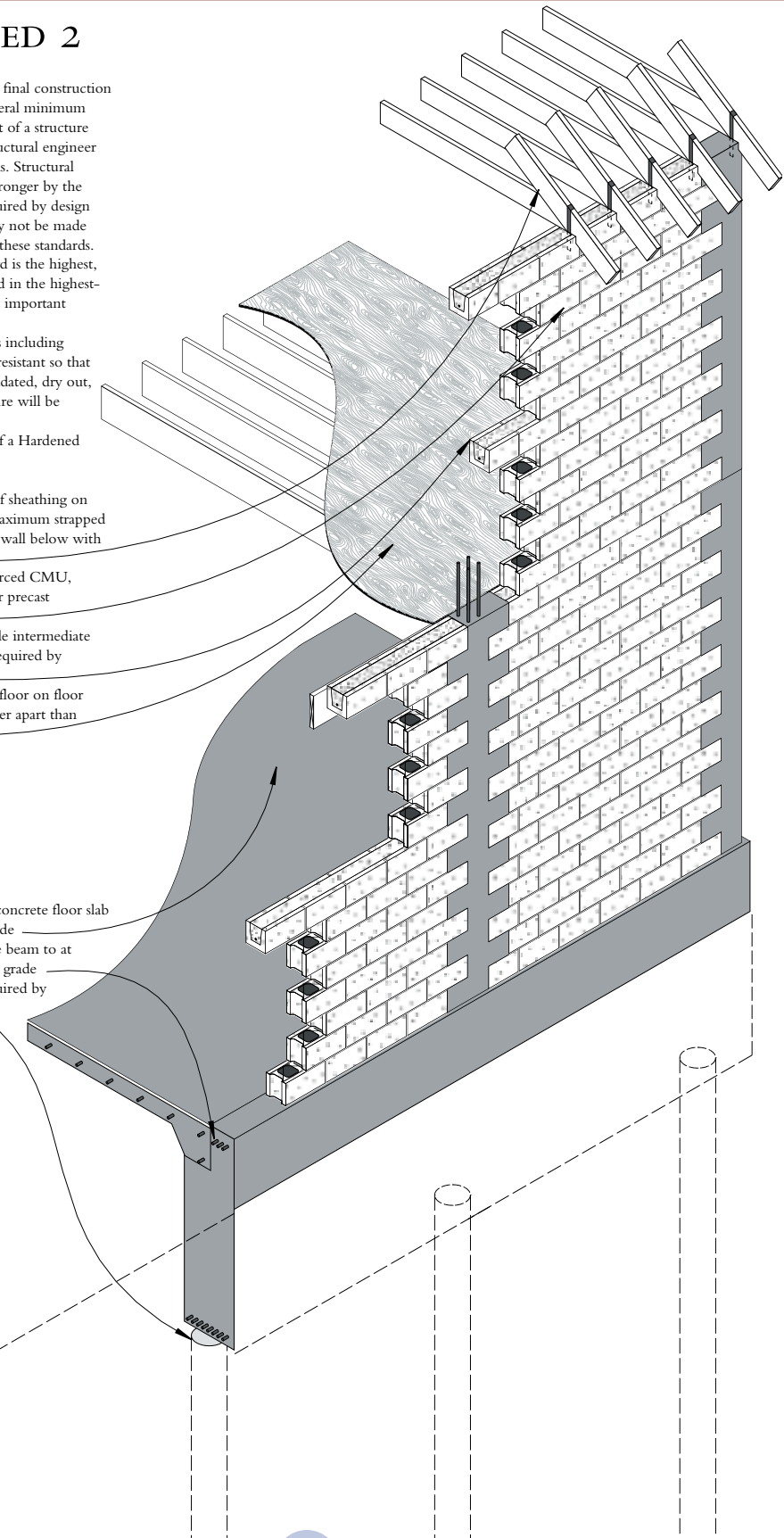
3/4" minimum T&G roof sheathing on roof framing 16" OC maximum strapped to concrete or masonry wall below with galvanized fasteners

8" thick minimum reinforced CMU, cast-in place concrete or precast concrete wall

if CMU, wall shall include intermediate bond beams spaced as required by structural engineer

3/4" minimum T&G subfloor on floor framing spaced no further apart than 16" OC

6" minimum reinforced concrete floor slab over drainage fill on grade reinforced concrete grade beam to at least 48" below finished grade steel pilings to depth required by structural engineer





SECTION D



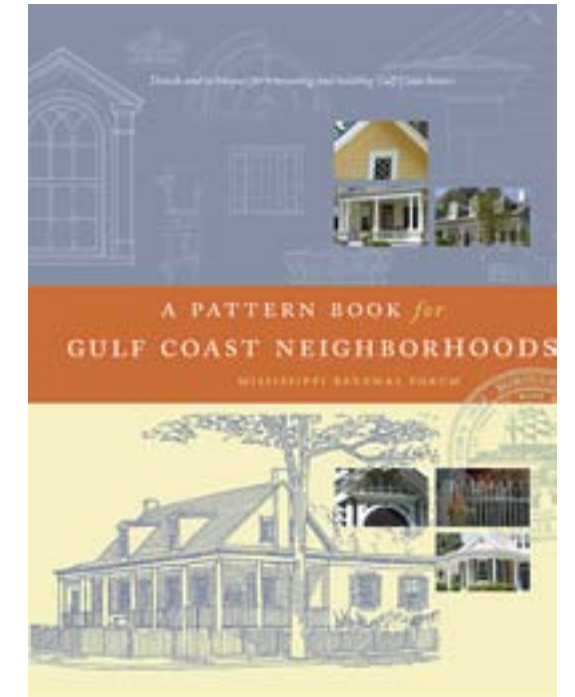
★RECOMMENDATIONS★

RECOMMENDED STRATEGIC ACTIONS

DESIGN ACTIONS

1. Engage the manufactured, modular, and panelized housing industries to do context sensitive design and raise the design standards for affordable housing.
 - a. Set regional design standards for architectural detail.
 - b. Bring manufacturers to the region for expedited delivery and affordability.
 - c. Continue discussion with Habitat for Humanity to improve design of emergency shelters as well as long-term housing.
2. Consider using the *Pattern Book for Gulf Coast Neighborhoods* and the *Book of Architecture for Gulf Coast Town Centers* as regulatory documents in the three county region for traditional architecture.
 - a. Repair and/or rebuild existing structures with appropriate regional and local details, using the Pattern Book & Book of Architecture for local traditional design features.
 - b. Build new structures in the historic districts according to the standards of the Pattern Book and Book of Architecture.
 - c. Apply the Pattern Book and Book of Architecture to traditional architecture only. Modernist designs are exempt.
3. Introduce building types not commonly used in the region to transition in scale from the beach front high rises into the neighborhoods.
 - a. Consider the use of townhouses, courtyard apartments, and mansion apartment houses as a buffer between the single-family detached houses and the mid-rises near the beach.
 - b. Encourage the hospitality industry to return to the historic mid-rise seacoast hospitality architecture, including the beach side garden court framing a view of the Gulf.

4. Petition for legislation to augment FEMA prescriptive standards with an additional performance matrix.
 - a. Create a matrix with building type, construction type, and FEMA advisory zone to determine risk assessment and direct performance requirements.
 - b. Categorize construction based upon Compliant, Resistant, and Hardened. (Katrina Success Analysis, Chapter 4)
 - c. Use new standards to raise quality of construction and structural connectivity and enable historic low-lying neighborhoods to rebuild.
5. Begin a dialog regarding a change in enabling legislation for FEMA to give emergency housing permanent status.
 - a. Raise quality of design for temporary housing since it likely will be around a long time.
 - b. Design the temporary housing as a true neighborhood with permanent infrastructure so it can evolve into a community.
6. Offer a range of architectural languages from the traditional to the modern and allow the market to choose.



POLICY ACTIONS

7. Preserve and restore all significant historic structures with storm damage.
 - a. Establish criteria to assess building damage that favors preservation and considers demolition the last resort.
 - b. Establish a salvage protocol to recycle historic architectural artifacts from structures that cannot be saved.
8. Enact legislation to allow historic structures to be rebuilt or restored as they were, where they were.
 - a. Respect the historical position of streets and buildings when possible.
 - b. Allow historic structures to be reconstructed exactly as they were even if they were more than 50% destroyed.
9. Adopt one standard building code at the regional level.
 - a. Adopt the IBC 2003 in Hancock, Harrison and Jackson counties.
 - b. Adopt a standard overly for Hurricane Resistance construction. Essential Public Facilities and Places of Refuge shall meet the Hardened 2 standards.
10. Create a regional, as well as multiple local Public/Private Partnership Design & Development Centers that are responsible for development visioning and design guidance.
 - a. Establish a Public/Private Partnership that ideally includes backing from a municipality, a university, the business community, and possibly a foundation.
 - b. Engage in visioning, serving as a catalyst for development.
 - c. Present the Centers as economic development tools.
 - d. Develop a location for housing the Centers in the same place as all other planning and development entities that a developer must engage while going through the development process, truly becoming a One-Stop Shop.
 - e. Serve as a forum for networking within the design and development professions in the region.
 - f. Provide the institutional memory for community vision, interacting with the media on developing issues.
 - g. Create the training ground by and for professionals by using the connections to universities. Engineering students, law students, sociology students, graphic artists, photographers, etc. can all play important roles. The DDC should also provide courses on

good design and development practices, to serve as an educational resource.

- i. Distribute the *Pattern Book for Gulf Coast Neighborhoods* and the *Book of Architecture for Gulf Coast Town Center* by mail, and make them available to walk-in visitors, along with a small library of reference books.
- ii. Provide expert consultation on a walk-in and site-visit basis.
- iii. Hold weekend seminars for local architects and designers.
- iv. Establish monthly Tear-out Prevention Workshops at developments under construction.
- c. Produce a website, an awards program, an email listserve, and tours of areas where development is wanted or tours of places to be celebrated.

MANAGEMENT ACTIONS

11. Initiate a program whereby Permitting for Recovery & Reconstruction can be expedited.
 - a. Create a “permitted-by-right” protocol for all drawings sealed by a MS licensed architect or engineer.
 - b. Establish a pre-permitted body of residential work that does not require a professional seal. This shall not apply to structures in a Velocity Zone.
12. Encourage safe construction practices.
 - a. Create weekend workshops for contractors and tradesmen in hurricane resistant construction techniques.
 - b. Increase inspection staff at the municipal level.
13. Create a Town Architect position at the municipal level to implement the Rebuilding effort.
 - a. Conduct design reviews.
 - b. Oversee historic restoration.

