

WAVELAND, MISSISSIPPI



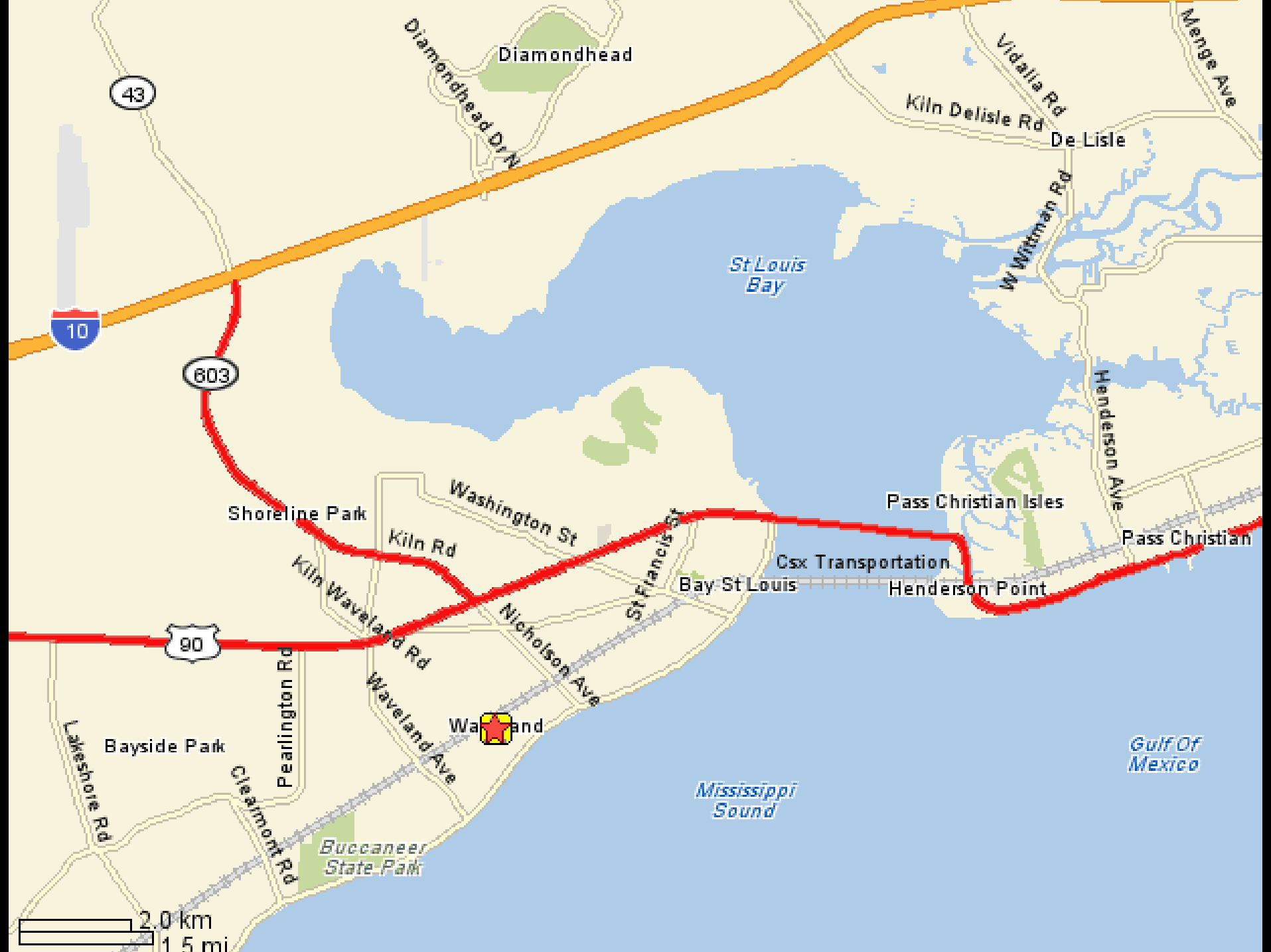
Design Team

Robert Orr, Lead
Catherine Johnson
John Massengale
Pat Pinnell
Mike Watkins, DPZ



WAVELAND

10 km
5 mi



Diamondhead

43

Diamondhead Dr N

Vidalia Rd
Kiln Delisle Rd

Menge Ave

De Lisle

W Wittman Rd

St Louis Bay

603

Henderson Ave

Pass Christian Isles

Pass Christian

Shoreline Park

Washington St

Csx Transportation

Bay St Louis

Henderson Point

90

Kiln Rd

Kiln Waveland Rd

St Francis St

Nicholson Ave

Waveland

Gulf Of Mexico

Mississippi Sound

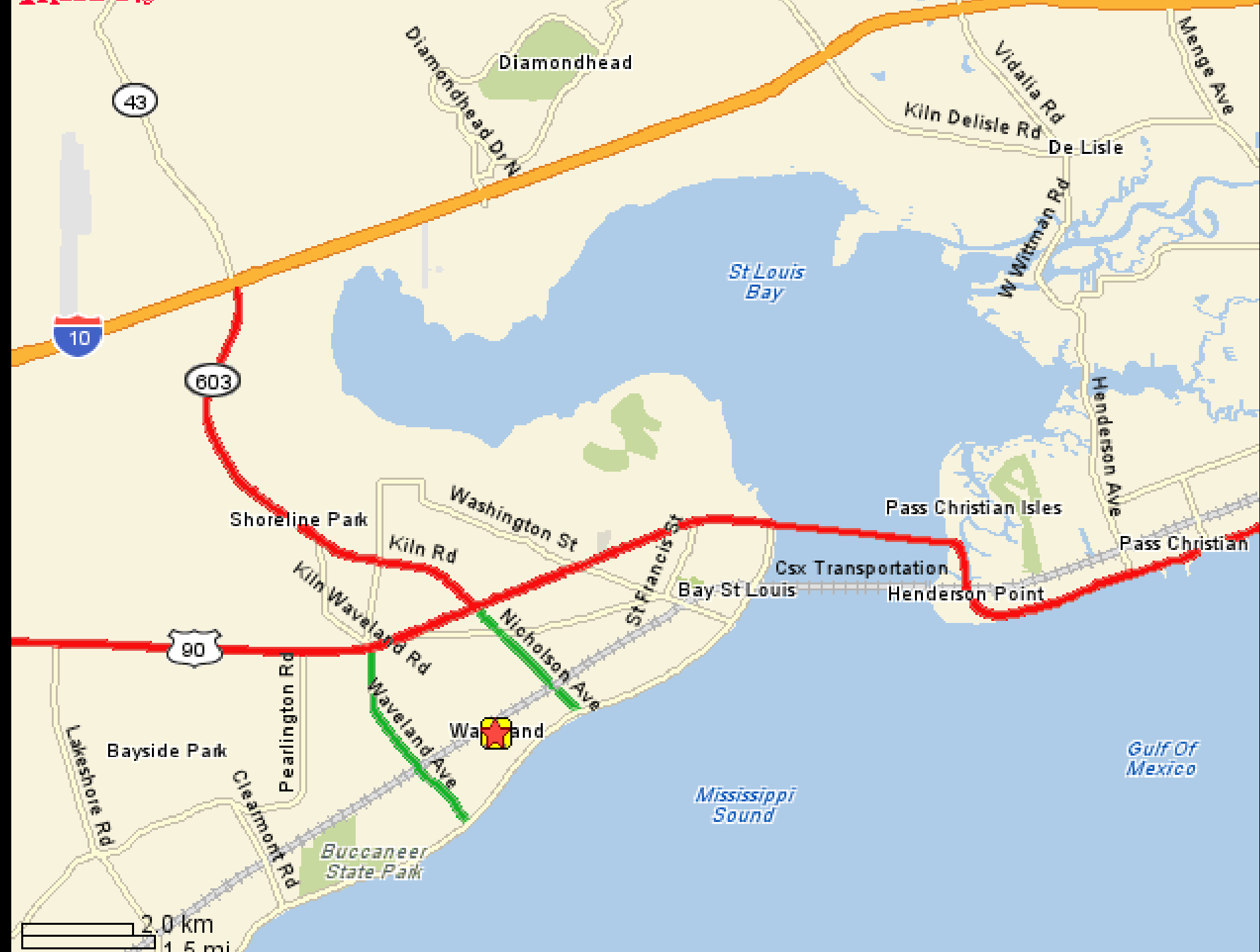
Bayside Park

Buccaneer State Park

Pearlington Rd
Cleamont Rd

2.0 km

1.5 mi





FROM THE PEOPLE OF WAVELAND

In appreciation and gratitude
to all who gave of their time,
energy, and money to help us
recover from Hurricane Camille.
On August 17, 1969 our city was
devastated, but those who
cared came to her rescue.

Coleman Avenue Business Section, Waveland, Mississippi







Arts Alive!

studio tours, demonstrations, performances

November 20-21, 2004

CITY OF WAVELAND

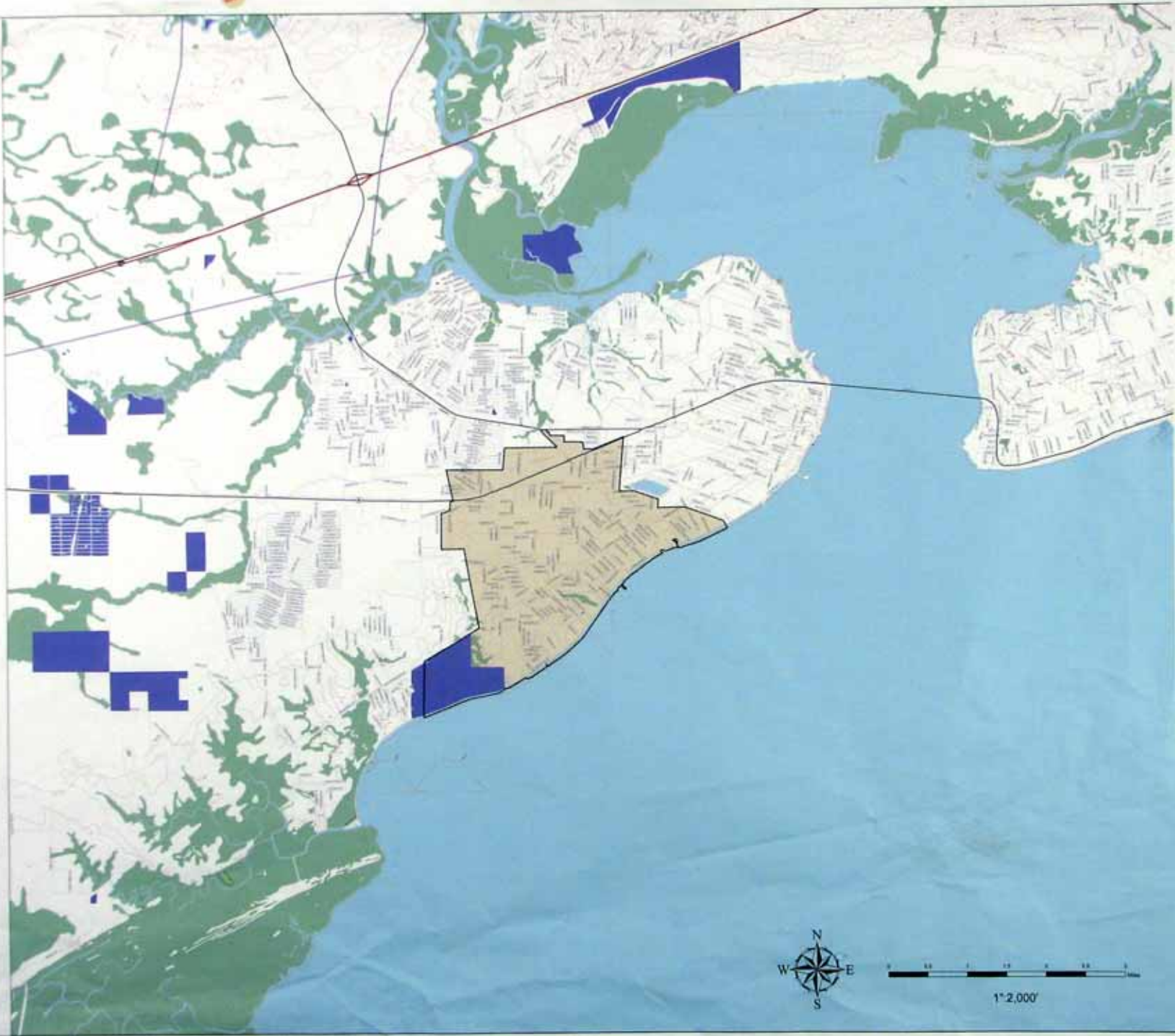
1:2,000

1/4 Mile Pedestrian Shed



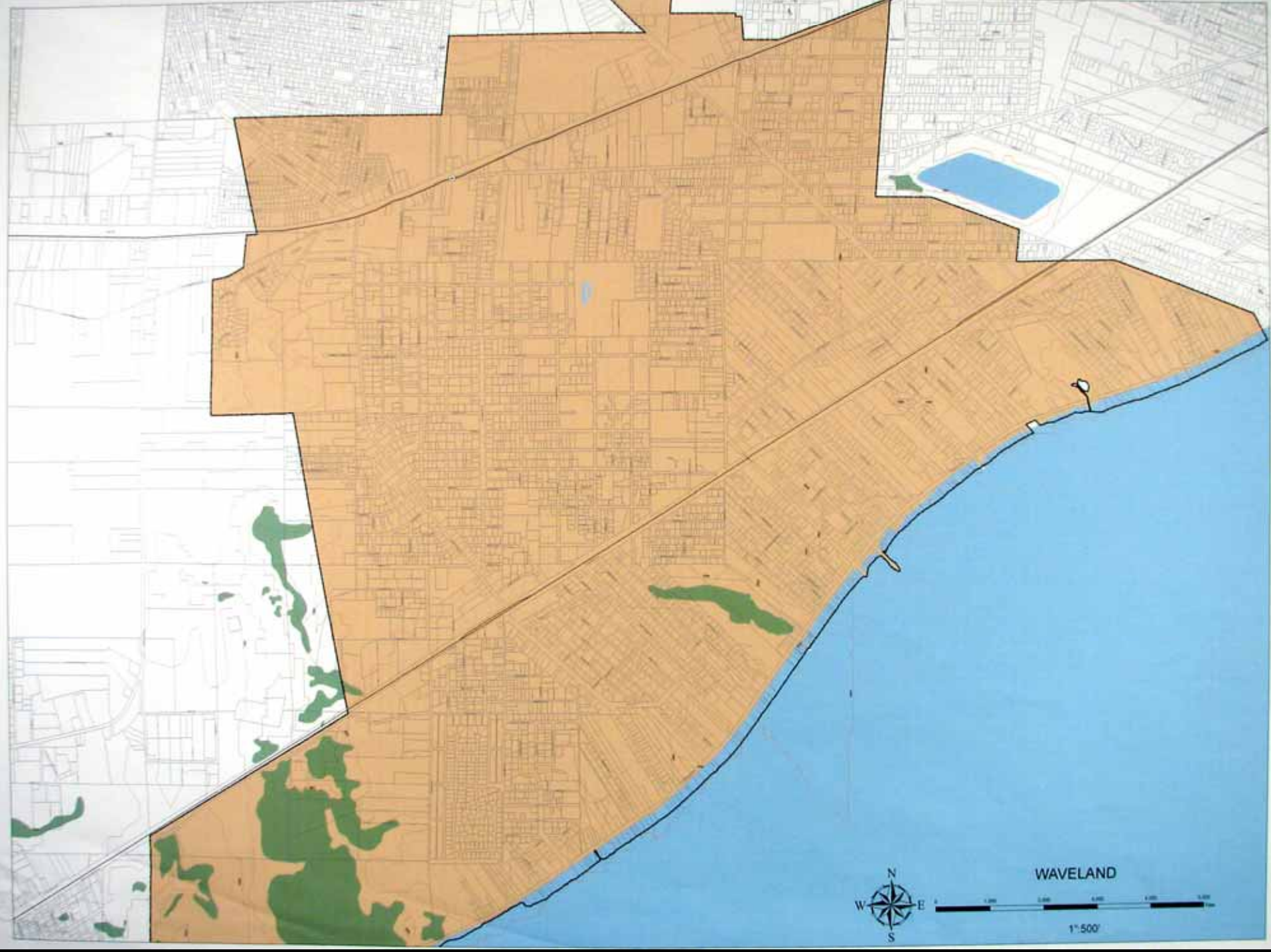
Map Features

- Interstate
- State Route
- Local Road
- Power Transmission ROW
- Contours - 6 meter
- Contours - 3 meter
- Municipal Boundary
- State/Federal Lands
- Wetlands
- Water



1"=2,000'





STRATEGIC PLAN



MISSISSIPPI SOUND

CITY OF WAVELAND

1" = 177'

STRATEGIC PLAN

• HGWY 90 DEVELOPMENT

• COLEMAN AVE



MISSISSIPPI SOUND

CITY OF WAVELAND

1" = 177'

STRATEGIC PLAN

• HGWY 90 DEVELOPMENT

• NICHOLSON AVE

• ST JOSEPH CONNECT

• WAVELAND AVE

• COLEMAN AVE

• BEACH DRIVE

CITY OF WAVELAND

1" = 177'



STRATEGIC PLAN

• HGWY 90 DEVELOPMENT

• NICHOLSON AVE

• ST JOSEPH CONNECT

• NEIGHBORHOOD CENTERS

• WAVELAND AVE

• ARTIST HOUSING

• COLEMAN AVE

• STREETCAR

• BEACH DRIVE

CITY OF WAVELAND

1" = 177'



STRATEGIC PLAN

• HGWY 90 DEVELOPMENT

• NICHOLSON AVE

• ST JOSEPH CONNECT

• TEMP HOUSING

• NEIGHBORHOOD CENTERS

• WAVELAND AVE

• ST CLAIRE SCHOOL

• ARTIST HOUSING

• COLEMAN AVE

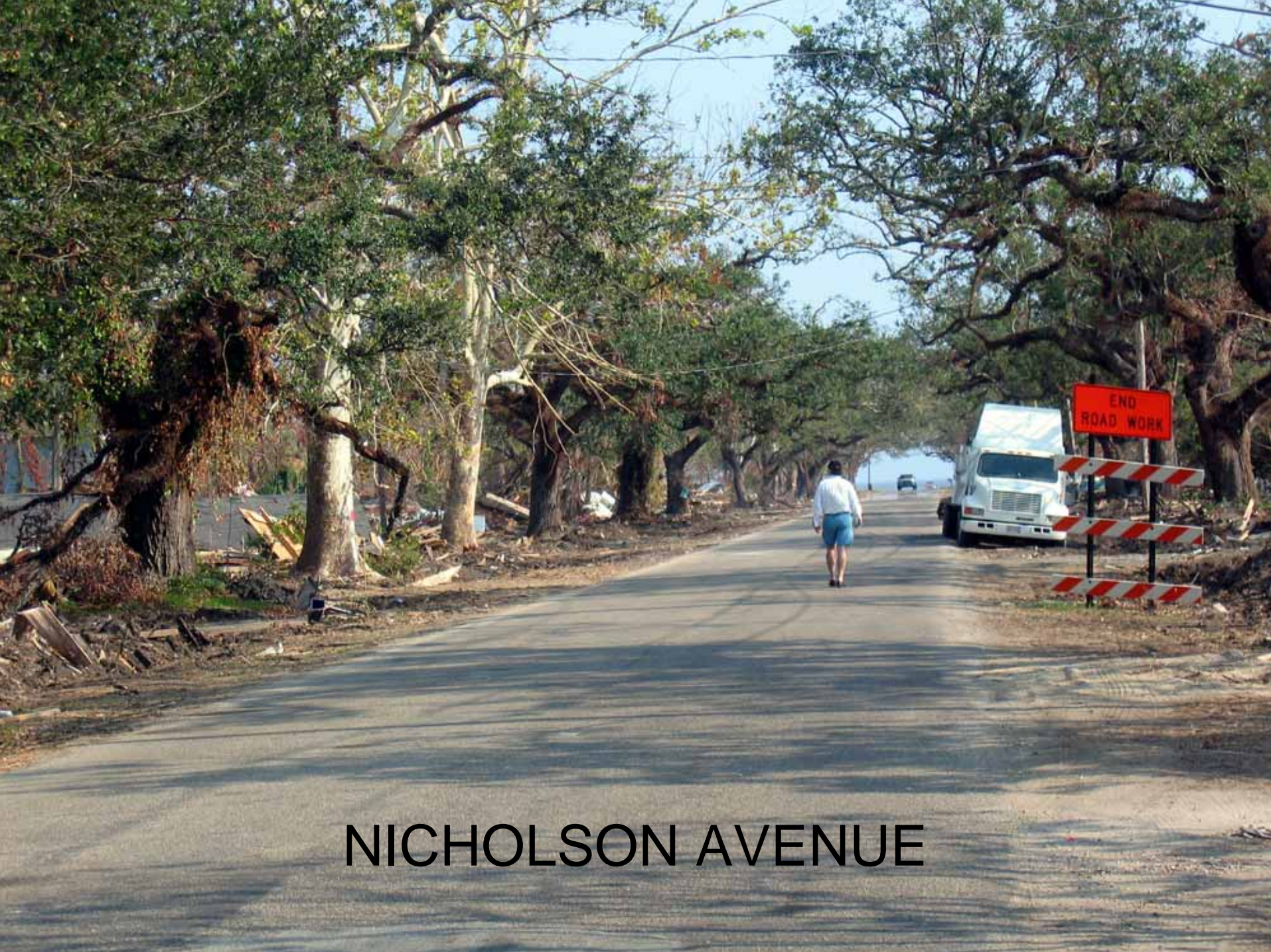
• STREETCAR

• BEACH DRIVE

CITY OF WAVELAND

1" = 177'

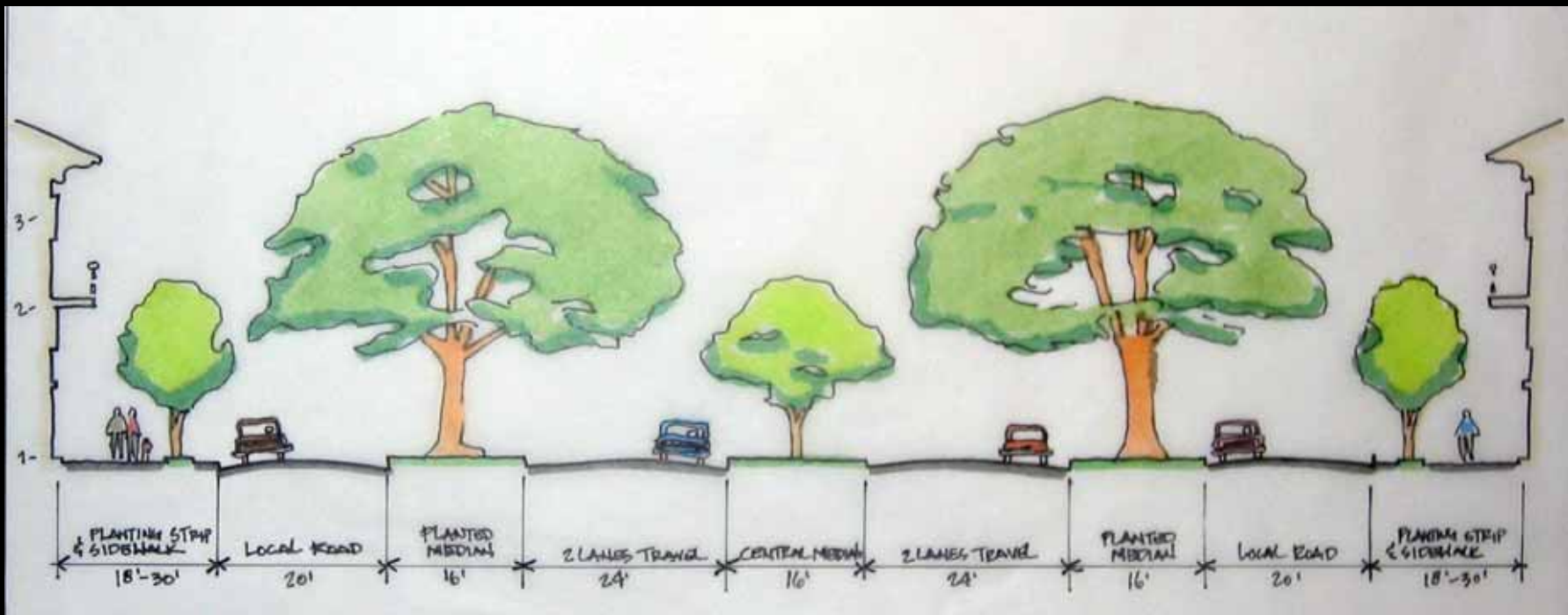
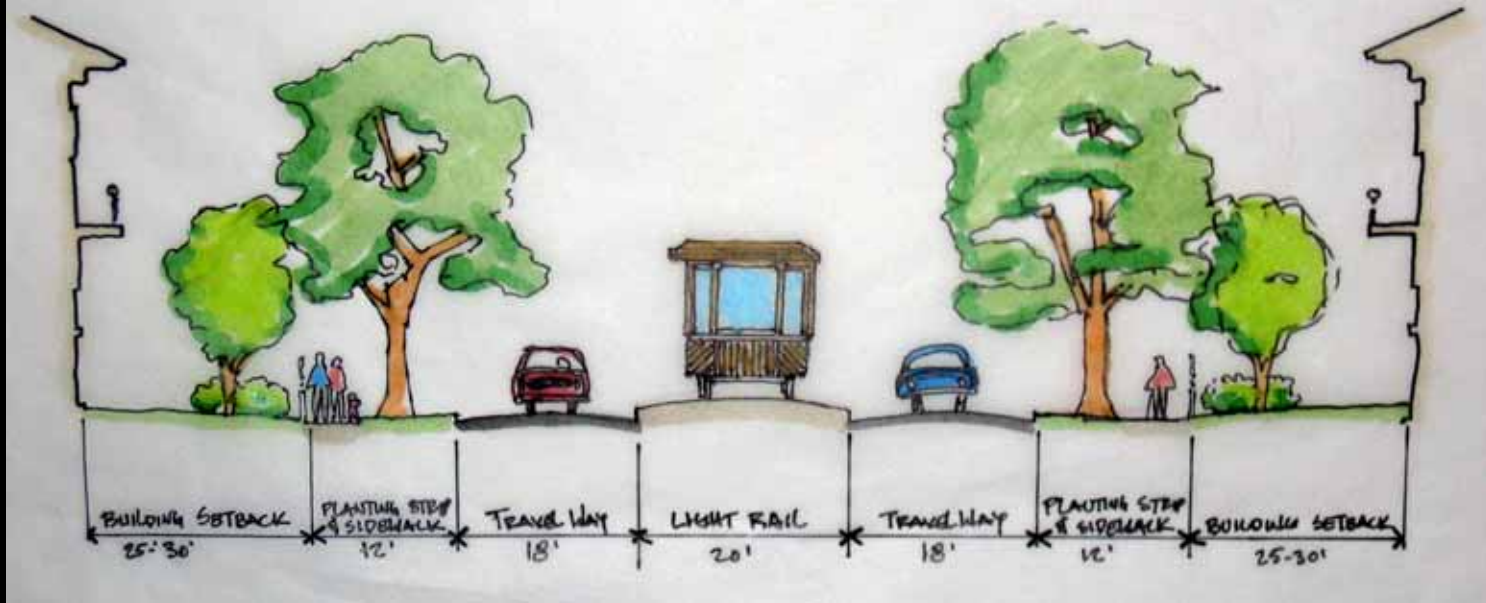


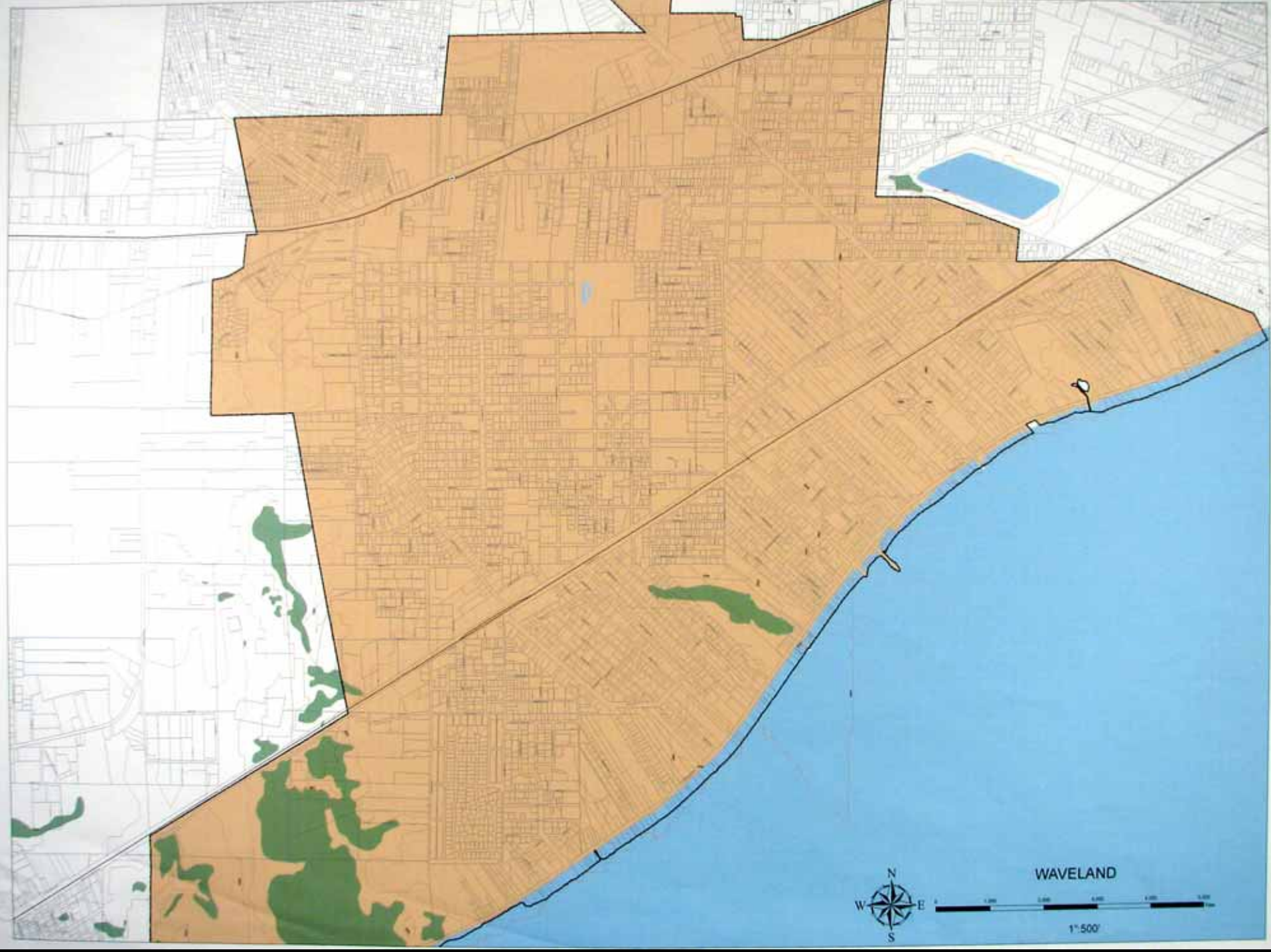


NICHOLSON AVENUE

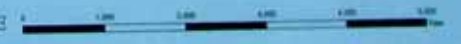


Woodlands
Patrick Pinnet





WAVELAND



1"=500'



90

90

90

WAVELAND AVE

HERLINY

ST JOSEPH

STATION

OLD SPANISH TRAIL

NICHOLSON

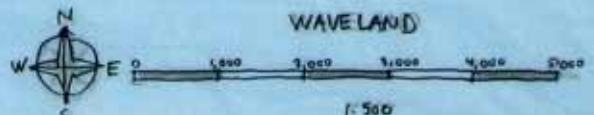
CENTRAL

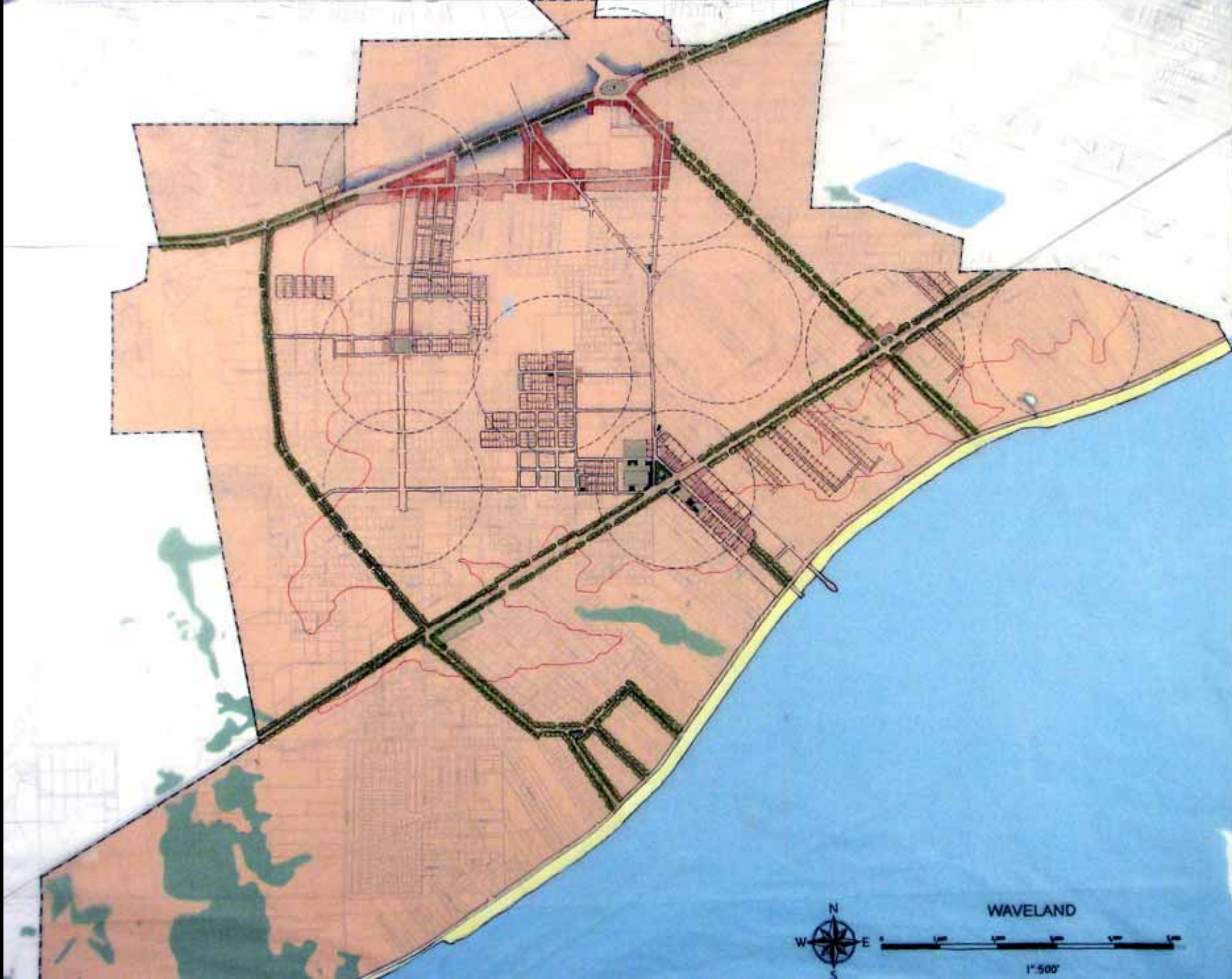
BEACH BLVD

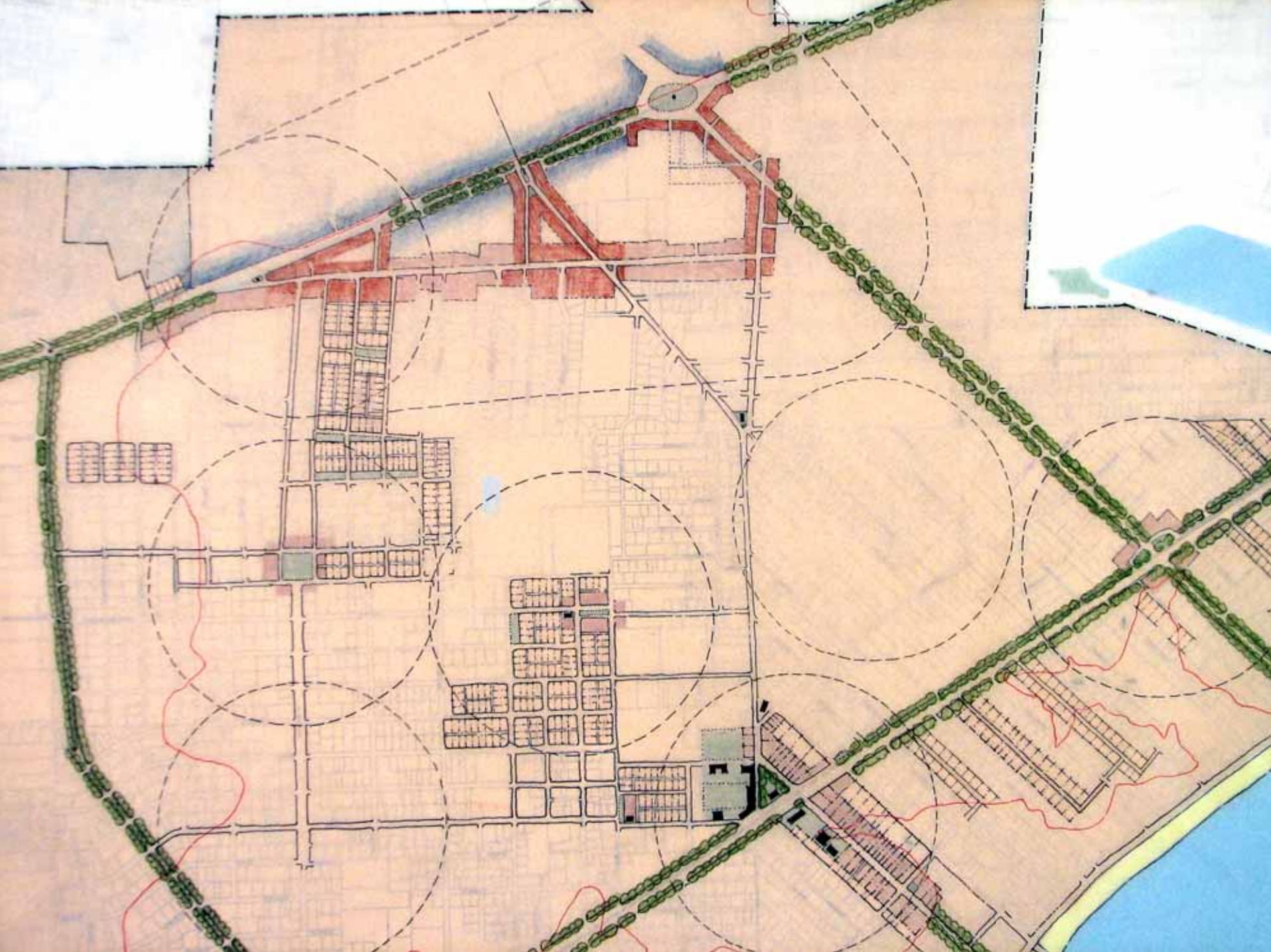
WAVELAND AVE

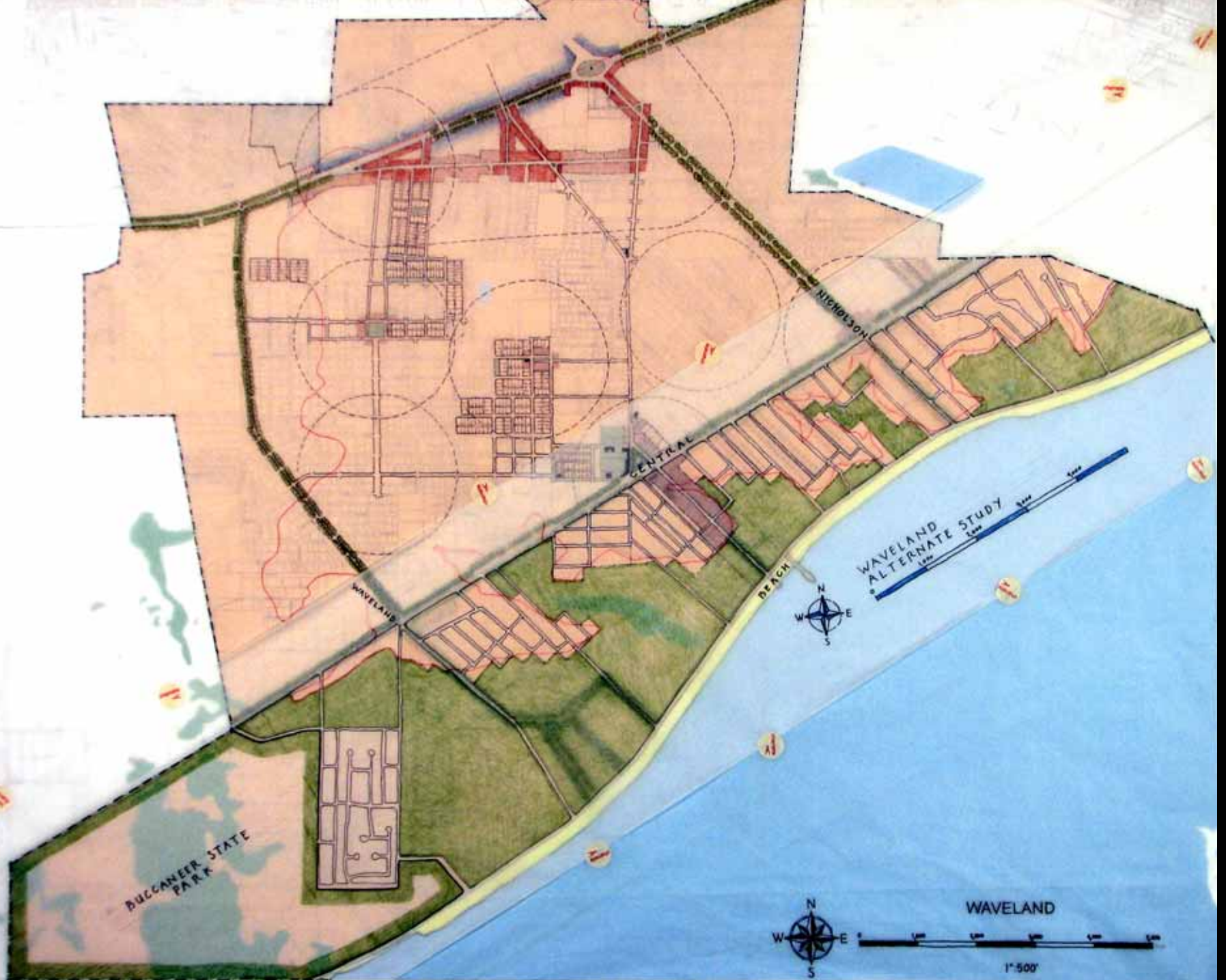
BEACH BLVD

PHASE 10/15/05
DESIGN







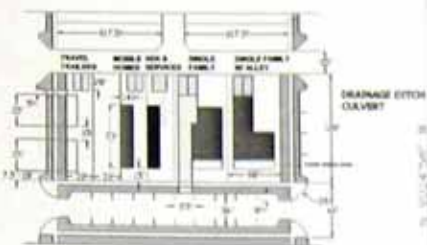


PORT HUDSON PROPER

EAST BATON ROUGE PARISH, LA

LAND USE SUMMARY

LAND AREA	41 ACRES
RESIDENTIAL	197 MOBILE HOMES 4.8 DU/
	OR
	49 MOBILE HOMES &
	296 TRAVEL TRAILERS = 341
	8.41 DU/AC
	OR
	98 SINGLE FAMILY 2.39 DU/
RETENTION/LAKES	1.66 AC
PARK/OPEN/REC.	5.49 AC



NOT TO SCALE



Transitional Housing → Traditional Neighborhoods

Serve families made homeless by a disaster while assisting the host community to realize plans for attractive, sustainable neighborhoods.

Design Principles

Transitional Communities

Planned communities designed to accommodate permanent housing but used temporarily to house evacuees.

Interconnected Street Network

- Pedestrian friendly, tree-lined streets, avenues and public greens
- Small blocks
- Parallel parking on street
- Off-street parking in rear of buildings

Mixed-use, Mixed Housing

- Convenience commercial/public services
- Single family, townhouse, multifamily & special needs housing
- Similar housing types face each other across the street

Eye on Street

Porches, Stoops, Balconies, Arcades & Colonnades

Location

Near existing urbanized areas

Proximity to:

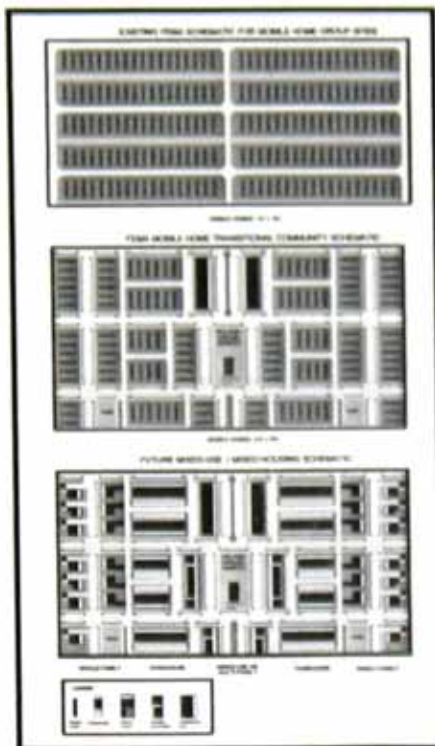
- School, Recreation, Services
- Police, Fire
- Employment
- Shopping

Organized Open Space

- Storm-water retention and drainage as open space amenities
- Public Gathering areas
- Preservation of significant environmental assets

Small Neighborhoods

Divide large sites into separate neighborhoods with clear center and defined edges



WAVELAND, MS

Phase 2 Study
 U.S. Black Veterans Regional Transportation Corridor

INFORMATION TYPE

- Design
- Policy
- Management

TIMING

- Immediate
- Short Term
- Long Term

URBAN SCALE

- Building
- Neighborhood
- Region

DRAWING TYPE

- Analytical
- Process
- Proposed

FEMA EMERGENCY HOUSING

Issued To:

10-19-05

Date:

Mike WARREN

Name of Contact for Additional Information

MIKE @ OFC.COM

E-mail address

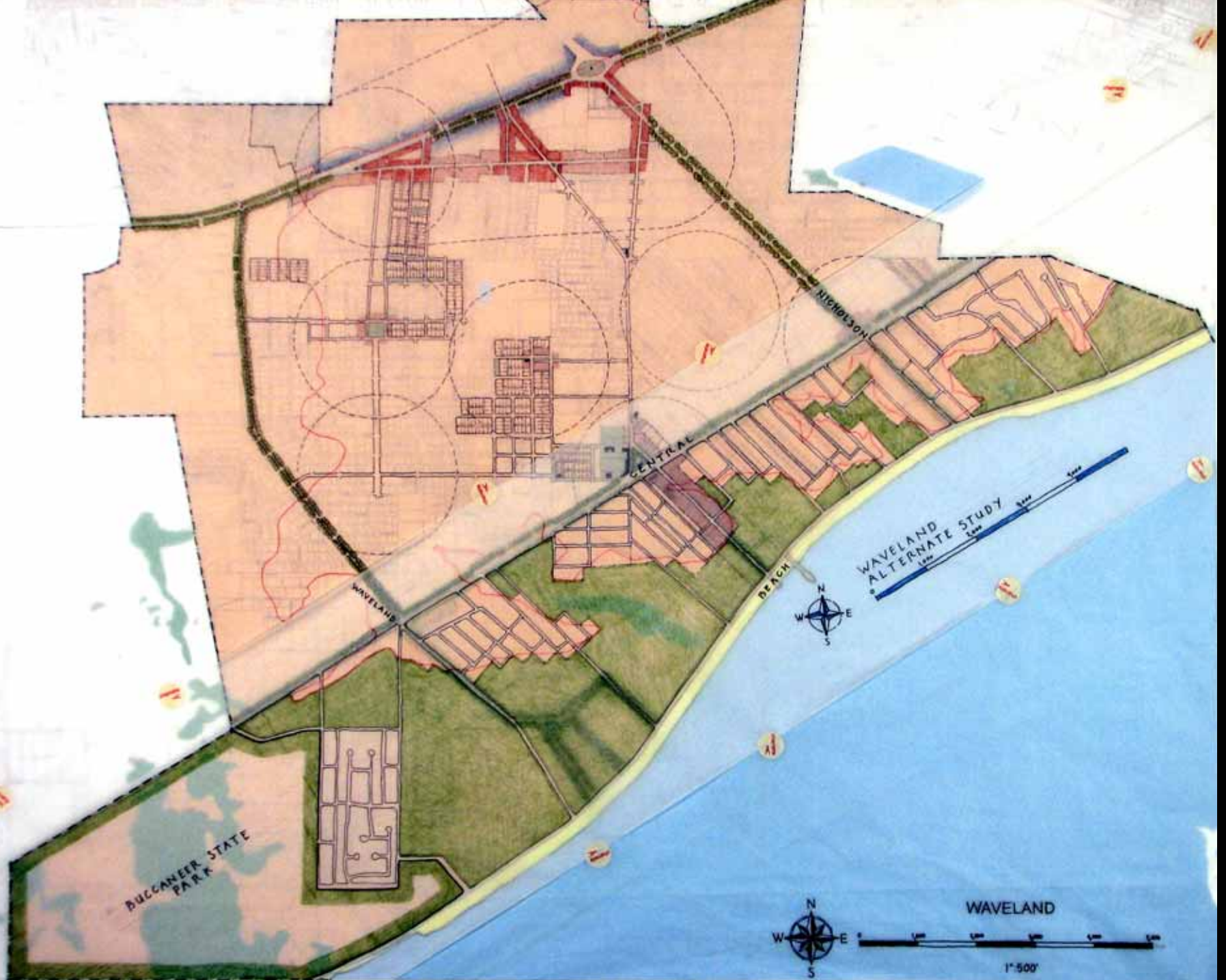
Narrative:

Graphic Scale: 1 city

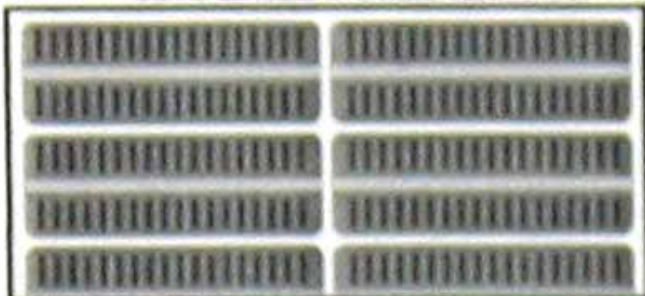
North Arrow: 1 city

Key Plan: 1 city

Legend: 1 city

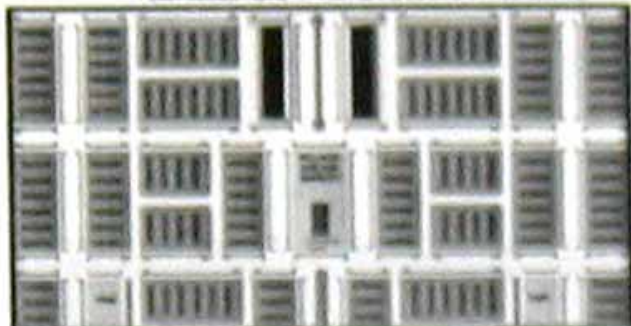


EXISTING FEMA SCHEMATIC FOR MOBILE HOME GROUP SITE



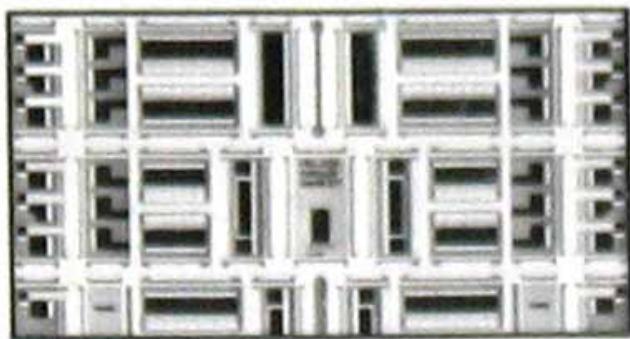
MOBILE HOME 10' x 30'

FEMA MOBILE HOME TRANSITIONAL COMMUNITY SCHEMATIC



MOBILE HOME 10' x 30'

FUTURE NEED-USE / NEED-HOLDING SCHEMATIC



MOBILE HOME 10' x 30' TRANSITIONAL NEED-USE OR HOLDING TRANSITIONAL MOBILE HOME 10' x 30'



Place or Topic
 (i.e., State, Watershed, Regional Transportation, Coding)

INFORMATION TYPE
 Design
 Policy
 Management

TIMING
 Immediate
 Short Term
 Long Term

URBAN SCALE
 Building
 Neighborhood
 Region

DRAWING TYPE
 Analytical
 Process
 Proposal

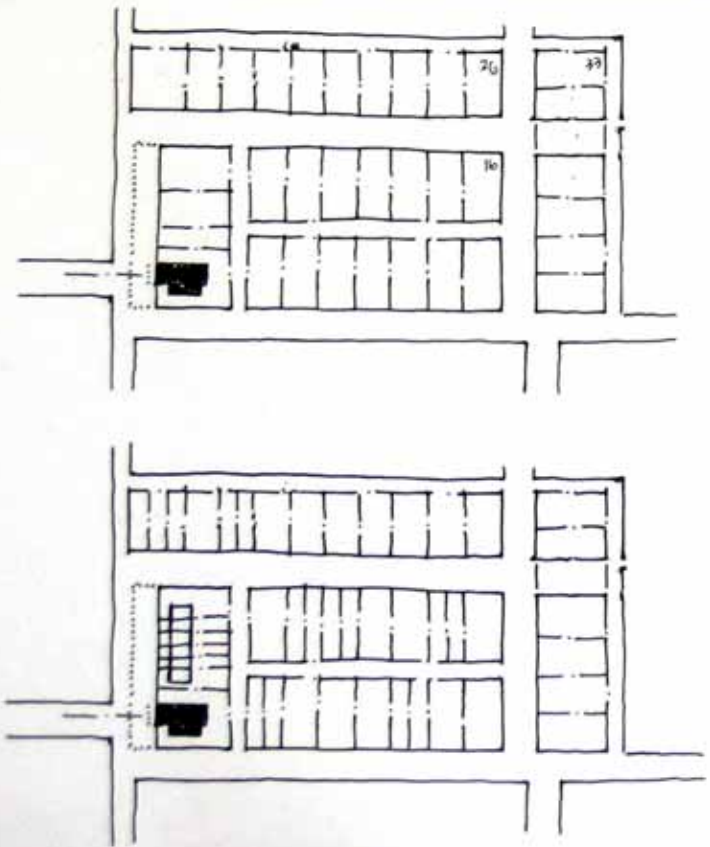
Drawing Title

Date

Name of Contact for Additional Information

Email address

Narrative
 Graphic Scale, if any
 North Arrow, if any
 Key Plan, if any
 Legend, if any

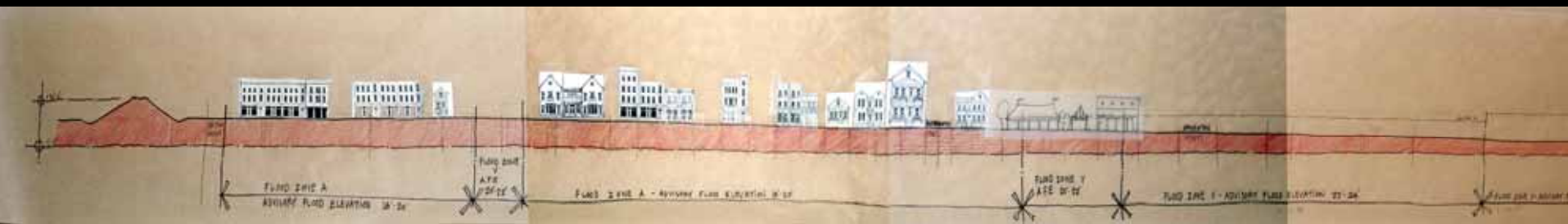
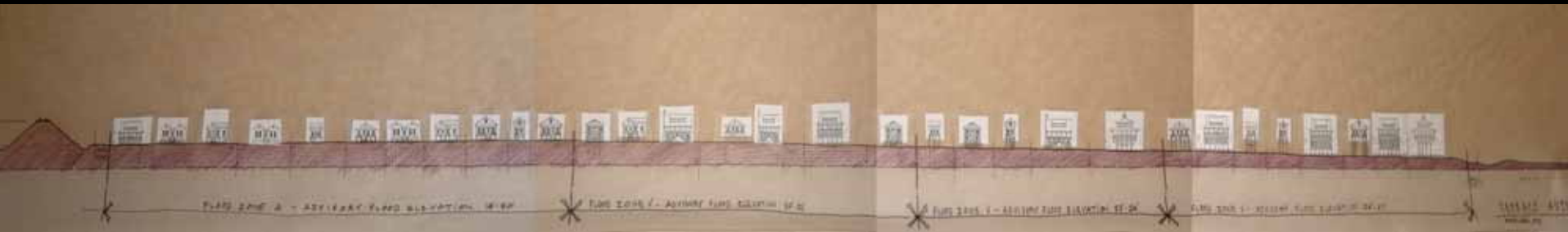


33 60 x 100 LOTS

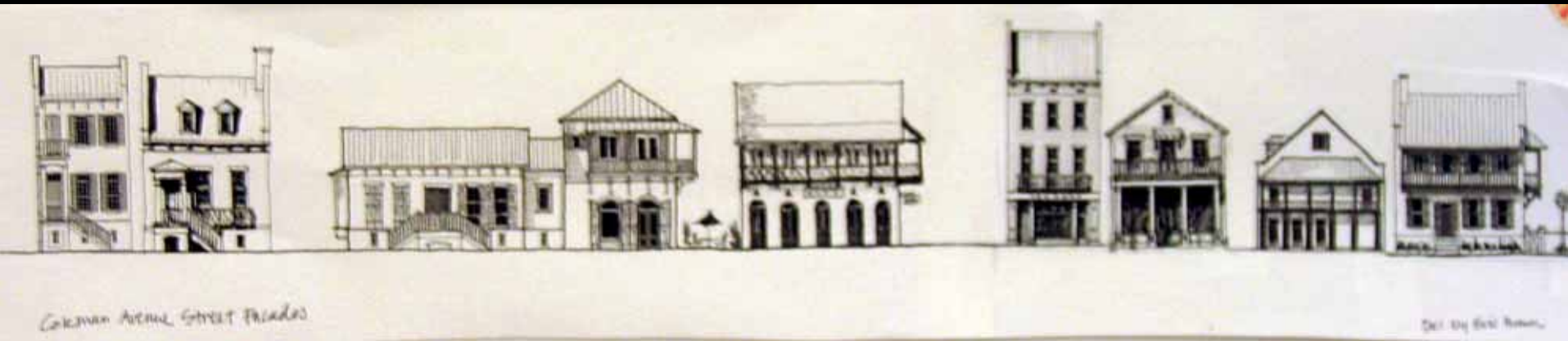
3 MONTHS: 132 TRAILERS

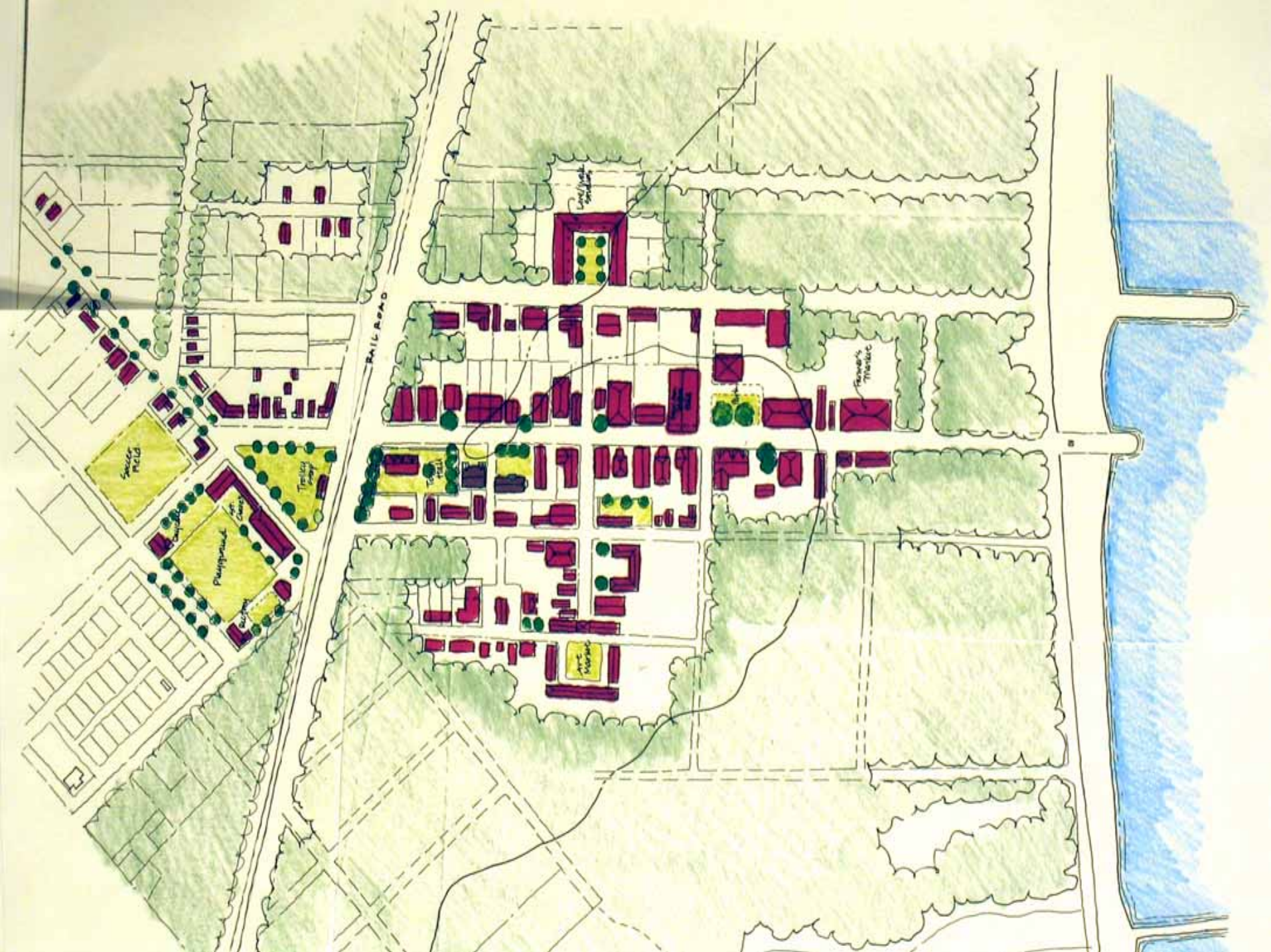
18 MONTHS: 66 MOBILE HOMES

FUTURE:
 6 20' TOWNHOUSES
 15 30' COTTAGES
 24 60' SINGLE FAMILY
 45 LOTS, AND,
 1 COMMUNITY BLDG.



COLEMAN AVENUE









Field.

Daycare

Playground

St. Clare's

Rectory

Trolley stop

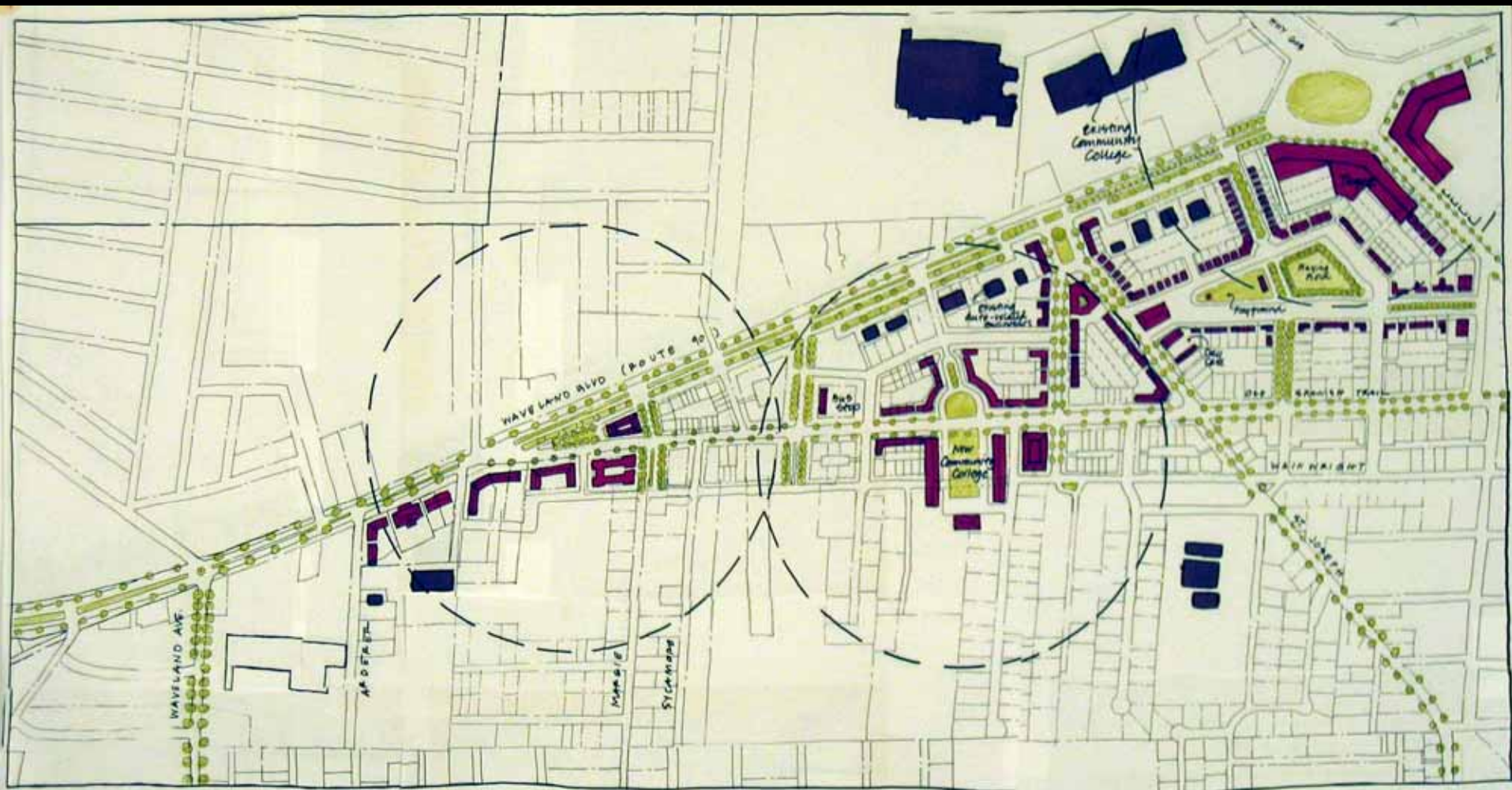
RAILROAD

Town hall





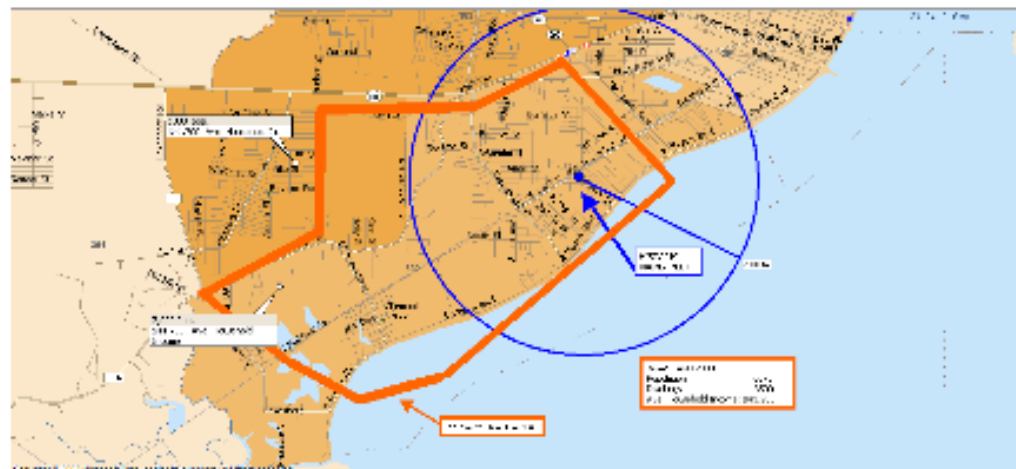
HIGHWAY 90 - OLD SPANISH TRAIL



POTENTIAL DEVELOPMENT (2-5 YEARS)

At 90 and Old Spanish Trail, Waveland

Waveland



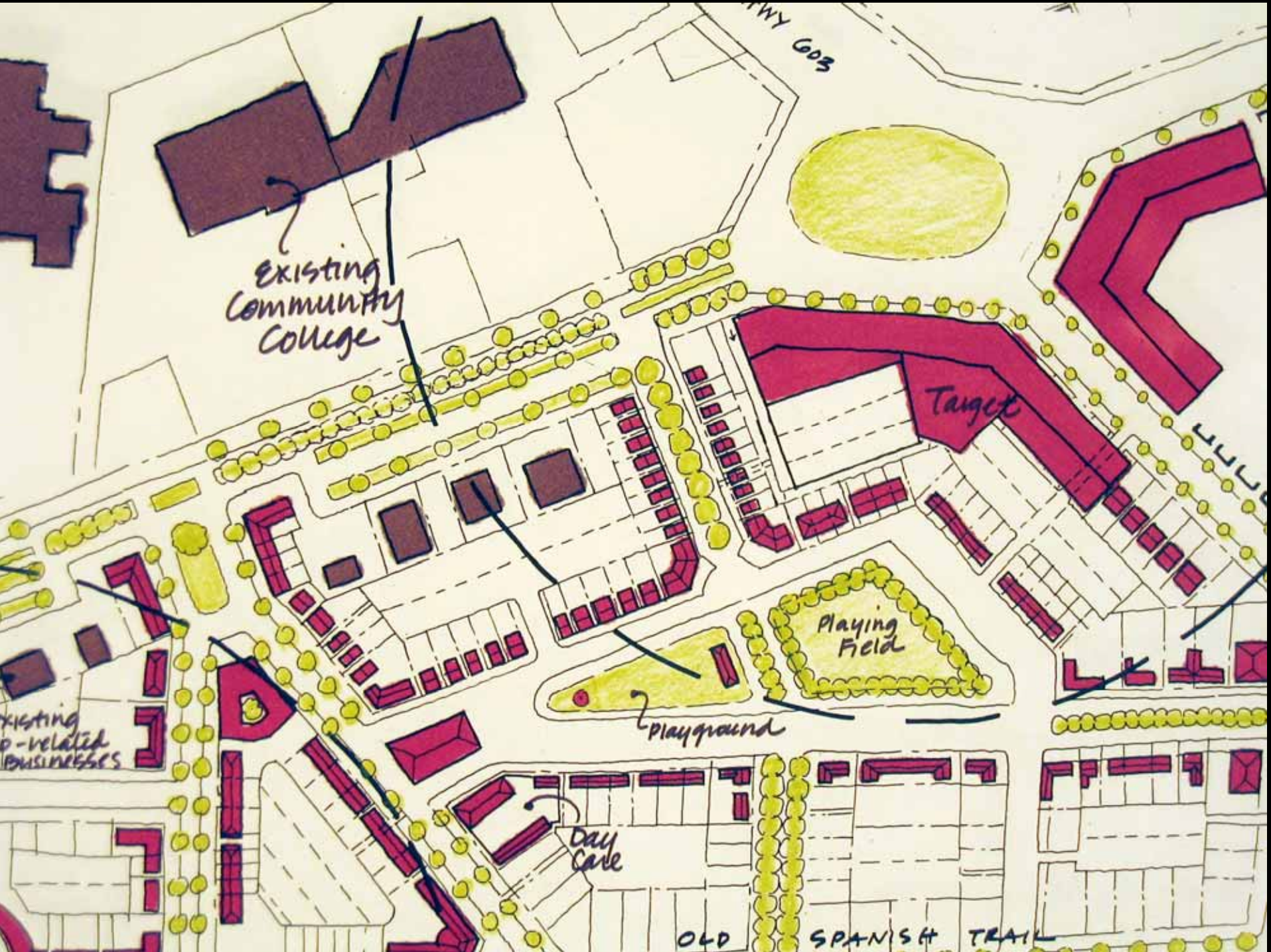
Primary Trade Area: 2 miles, 8,800 people, 4,200 households, Ave household Income: \$43,200.

Secondary Trade Area: 5 Miles, 22,000 people, 4 million tourists

Retail Category	Historic Downtown	Highway 90	Neighborhoods
Corner Store: food, beverage, staples	-----	3000 sf	2500 sf
Convenience Center: Food, Banks, Cleaning, Carry-out, Coffee.	12,000 sf	-----	-----
Neighborhood Center: Grocery Store, Hardware, Video, Restaurant, Bank, Apparel	-----	-----	-----
Community Center: Discount Dept. Store, Home Supply, Sporting Goods, Office, Restaurants, Books	-----	300,000 sf	-----
Lifestyle Center: Apparel, Home Furnishings, Cinema, Books, Restaurants	-----	-----	-----
Regional Retail: Fashion Dept. Stores, Apparel, Restaurants, Home, Books.	-----	-----	-----
Restaurants & Art Galleries	12,000 sf	4000 sf	2500 sf

Note: All figures above are estimates for supportable retail by 2010 including existing businesses.

Limits of Study: This study is intended to serve as a general guideline for long range land use planning during the October 2006 Mississippi Renewal Forum Charrette. The above findings are based upon interviews and data gained during the seven day Charrette and have not been independently verified. The above recommendations should be considered preliminary and not used as the sole basis for planning, design, financing, leasing, property sales or development. The findings of this study are also based upon the following assumptions: No significant additional retail will be developed in the subject trade areas; 90% of the pre-hurricane populations and households will return prior to the development of the above commercial; All new construction and development is planned and designed at or above industry standards; And all new development is managed and leased following the best practices of the retail industry.



Existing
Community
College

Target

Playing
Field

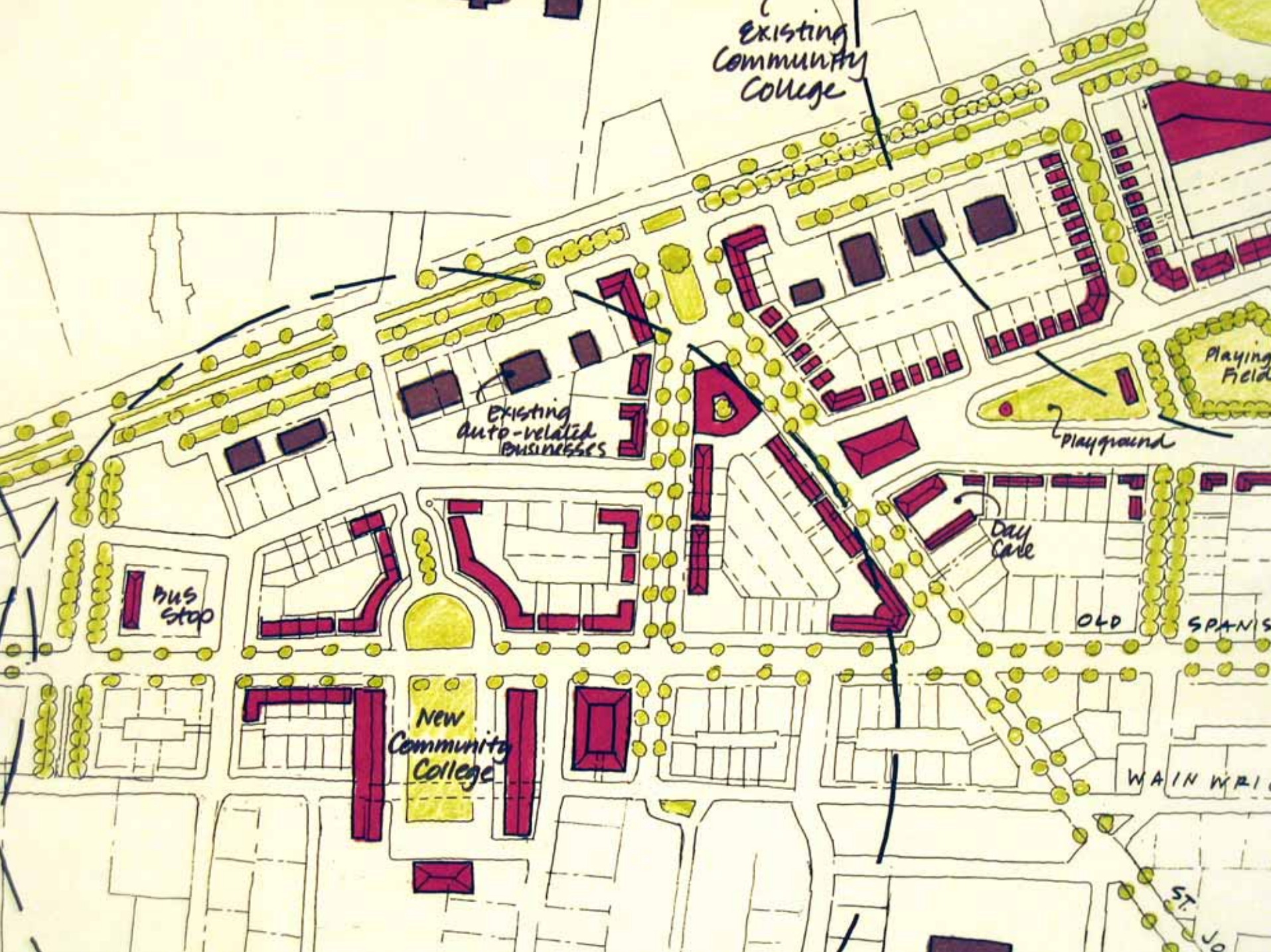
Playground

Day
Care

Existing
p-related
businesses

OLD SPANISH TRAIL

HWY 603



Existing
Community
College

Existing
auto-related
businesses

Bus
stop

New
Community
College

Day
Care

Playground

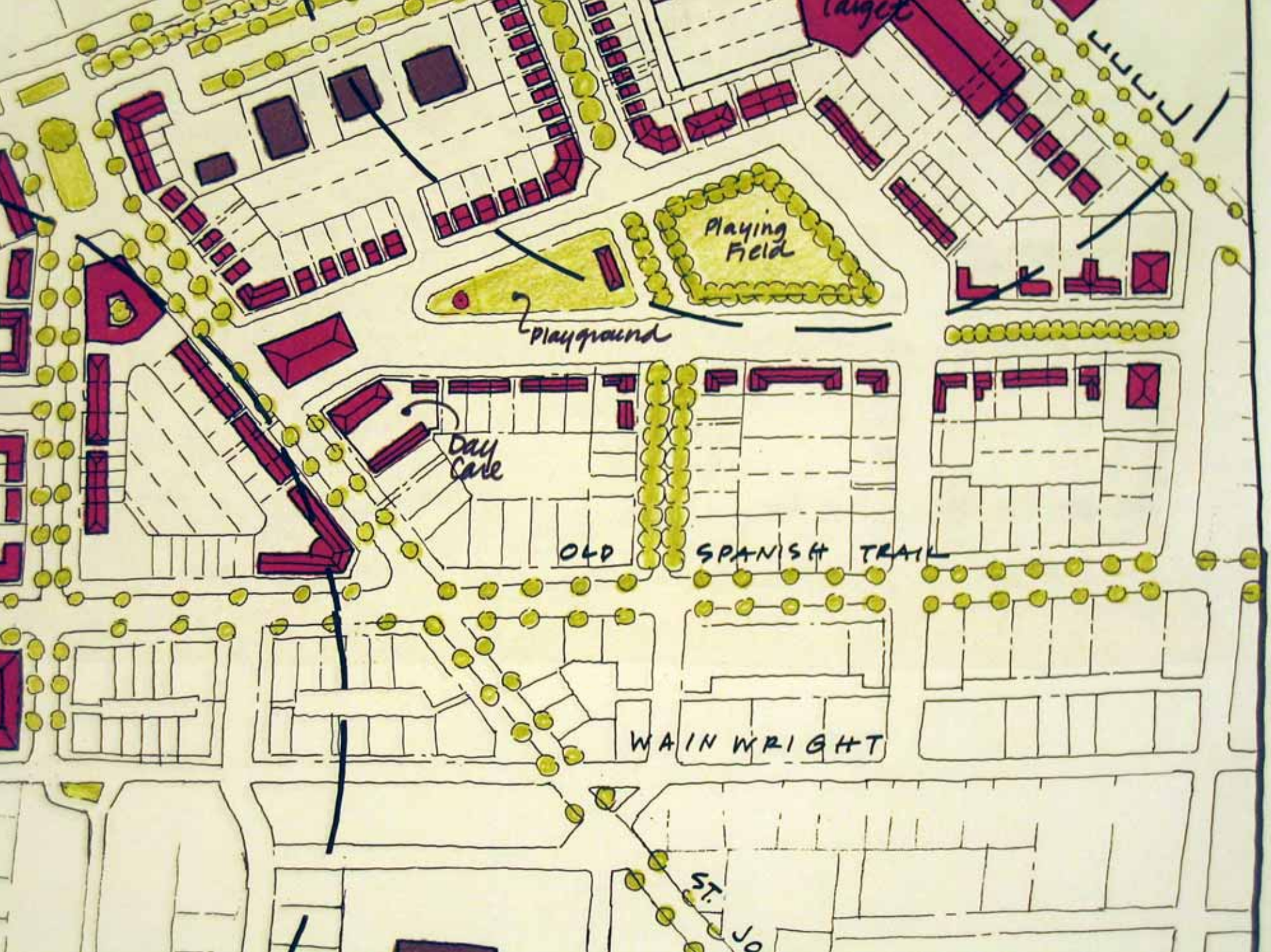
Playing
Field

OLD

SPANISH

WAIN WRI

ST. JO



Playing Field

Playground

Day Care

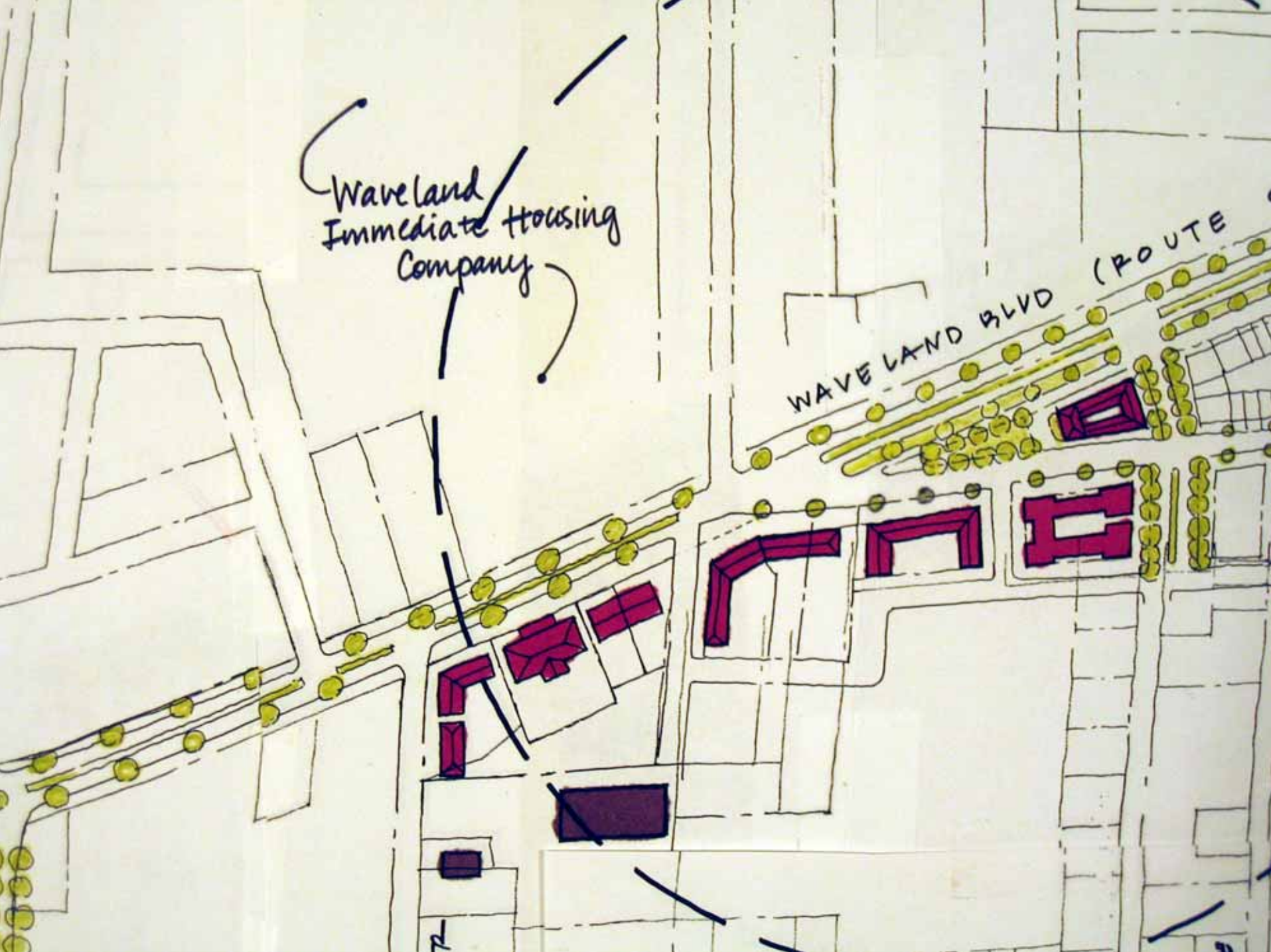
OLD SPANISH TRAIL

WAINWRIGHT

ST. JO

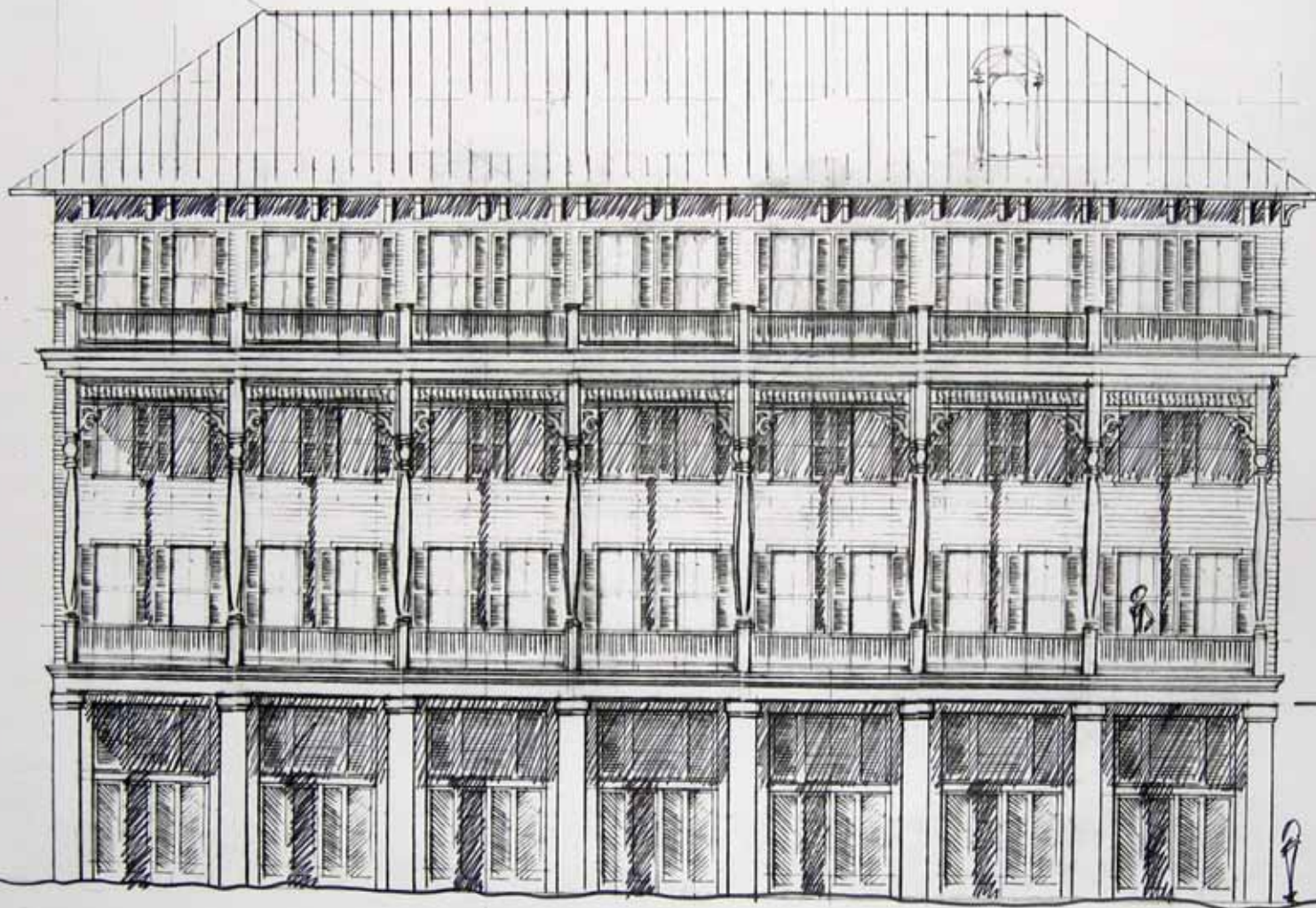
Waveland
Immediate Housing
Company

WAVELAND BLVD (ROUTE



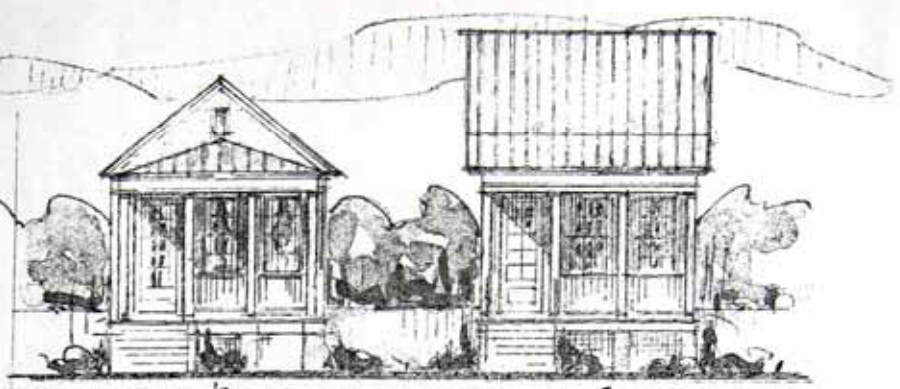
~ A FEMA COMPLIANT APARTMENT BUILDING ~
FOR 10' GRADE ELEVATION IN
30' ADVISORY FLOOD ZONE

(2) Grade = 10 ft above sea level
Depth = SWL - Z = 20 - 10 = 10 ft
Wave = $\frac{1}{2}(d) = 5$ ft
Advisory Flood Elevation = 25 ft.

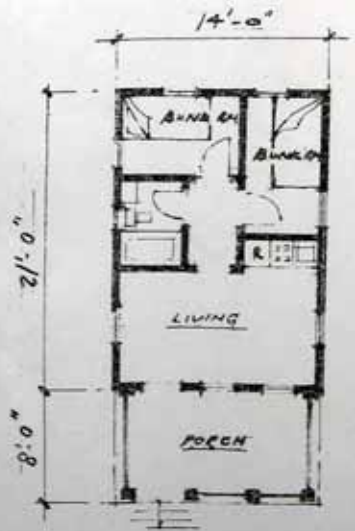


Bottom of
lowest structural
member at
25' Above Sea level

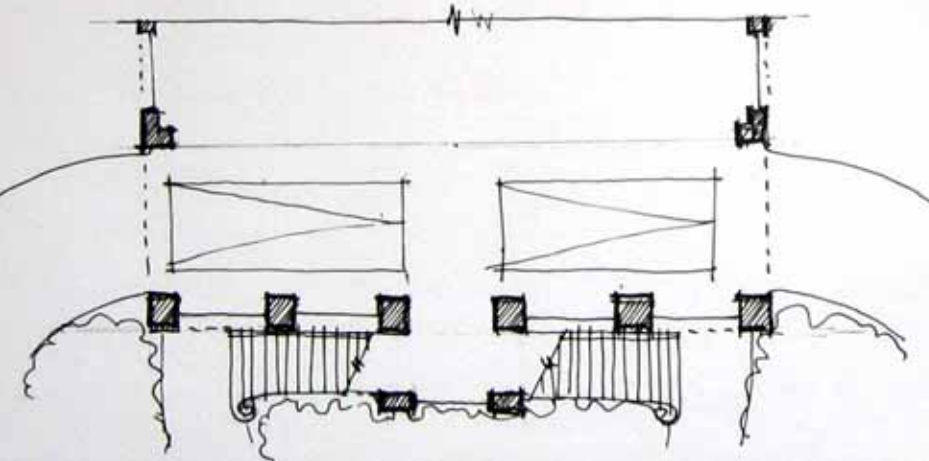
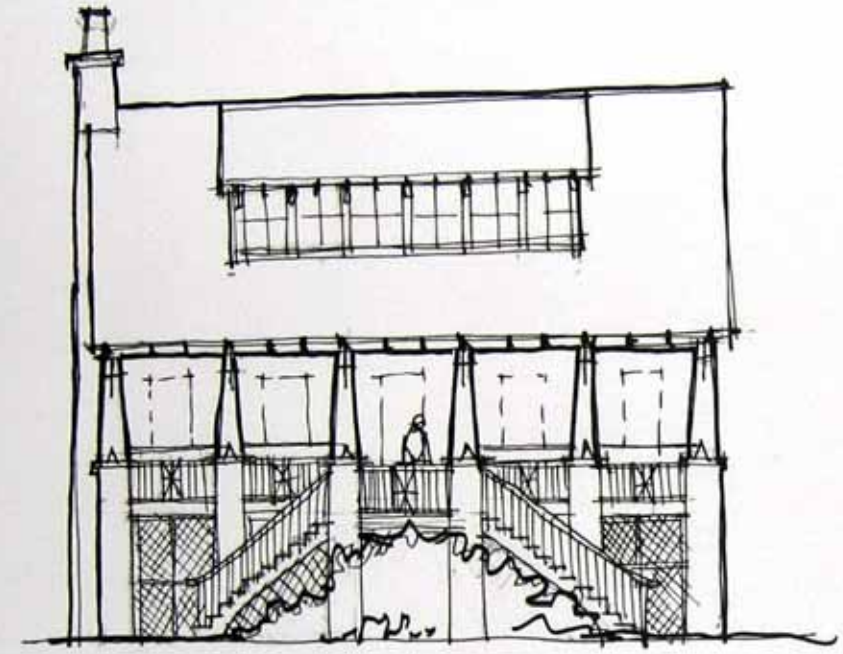
Grade at 10' above
Sea level
ABOVE 20 Feet

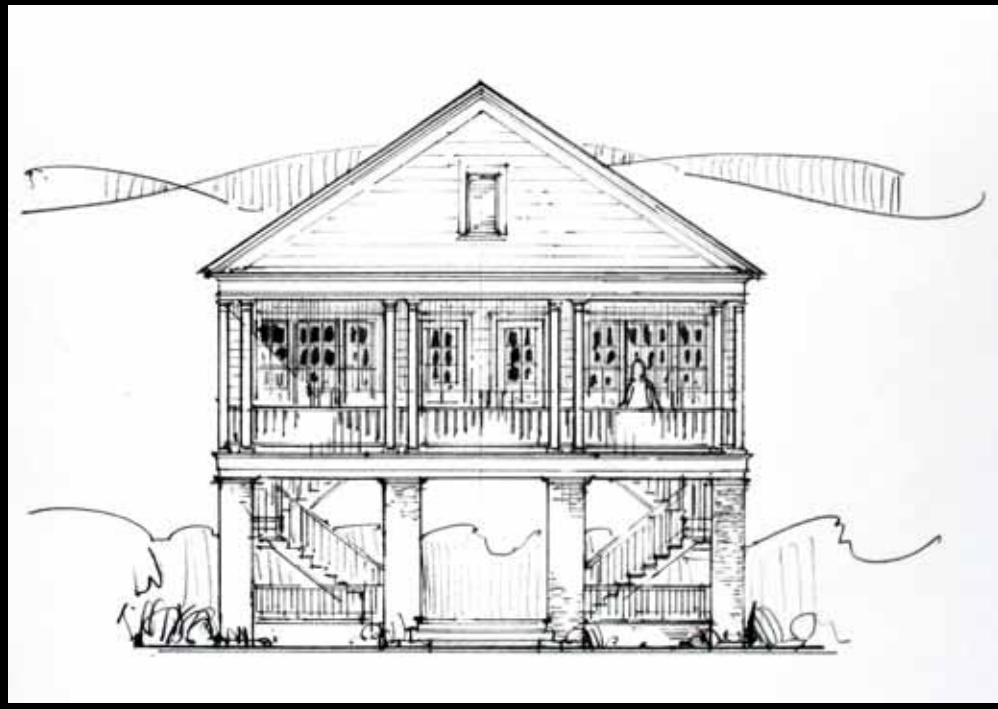


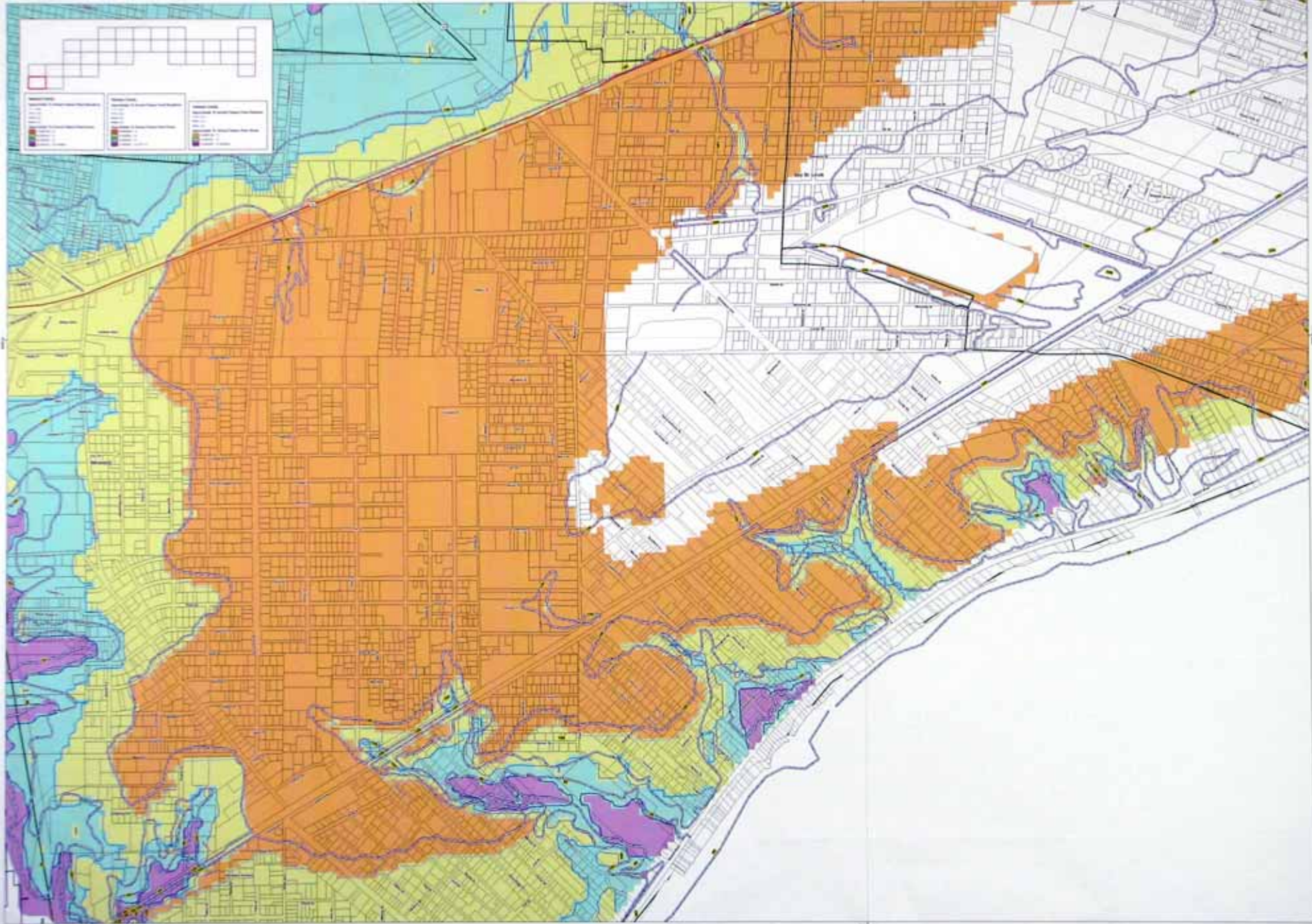
294 sq ft Collage - Opt. Elevation
 1/8" = 1'-0"
 MARIONNE CURATO



294 sq ft collage
 1/8" = 1'-0"
 MARIONNE CURATO







FLOOD HAZARD ZONES	
Zone 1 (Orange)	Zone 2 (Yellow)
Zone 3 (Light Blue)	Zone 4 (Purple)
Zone 5 (Dark Blue)	Zone 6 (White)

Waveland "A" Zone
 1" = 500'



**POST- HURRICANE KATRINA COASTAL ELEVATION
FLOOD ADVISORY MAPS**

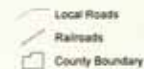
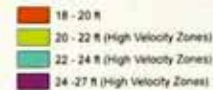
Hancock County, MS
September 2005

Legend

**Approximate 1% Annual Chance Flood Elevations
CONTOUR**



Approximate 1% Annual Chance Flood Zones



Notes to user:

THESE MAPS ARE FOR ADVISORY PURPOSES ONLY.
The elevations are based on approximate 1% Annual Chance
flood elevation and overland wave effects.

To compute estimated flood elevation for a specific site, apply
the following formula:

$$\begin{aligned} \text{Estimated 1\% annual chance flood elevation} \\ &= \text{surge} + \text{waves} \\ &= 18 \text{ Feet} + (18 - \text{Grade})/2 \end{aligned}$$

Where Grade = Lowest ground elevation at the site

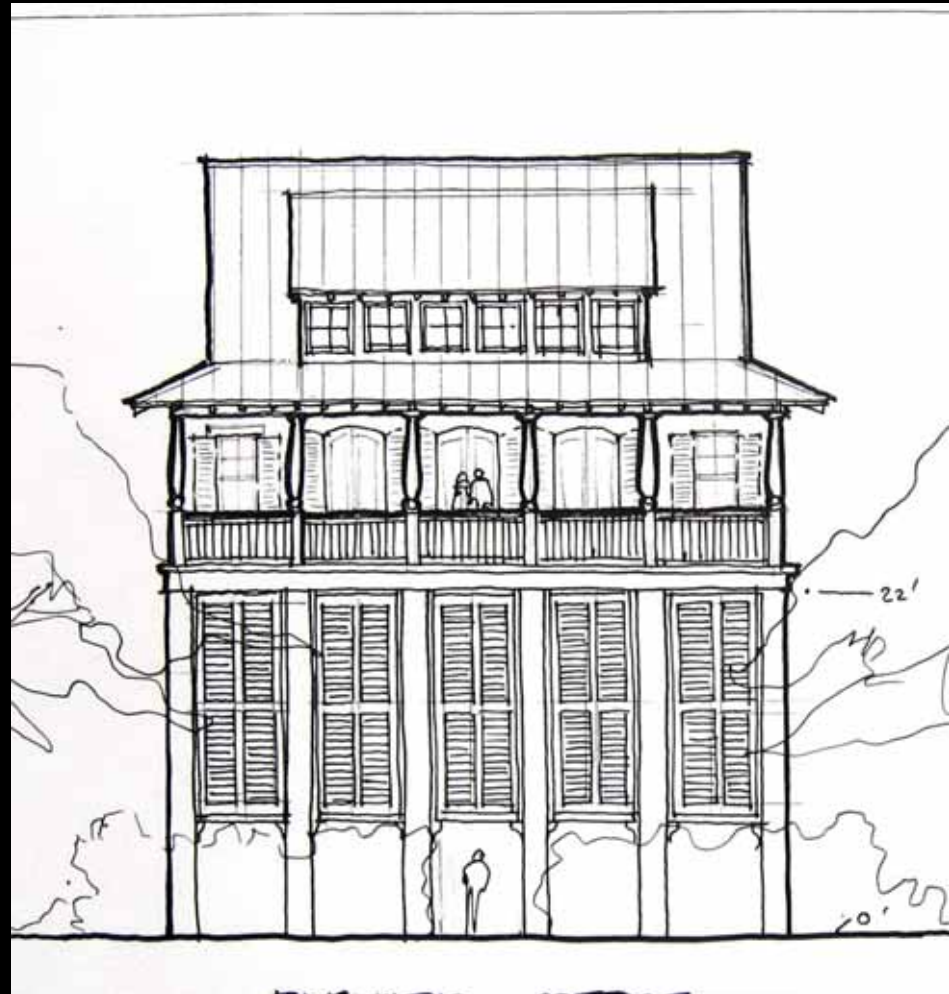
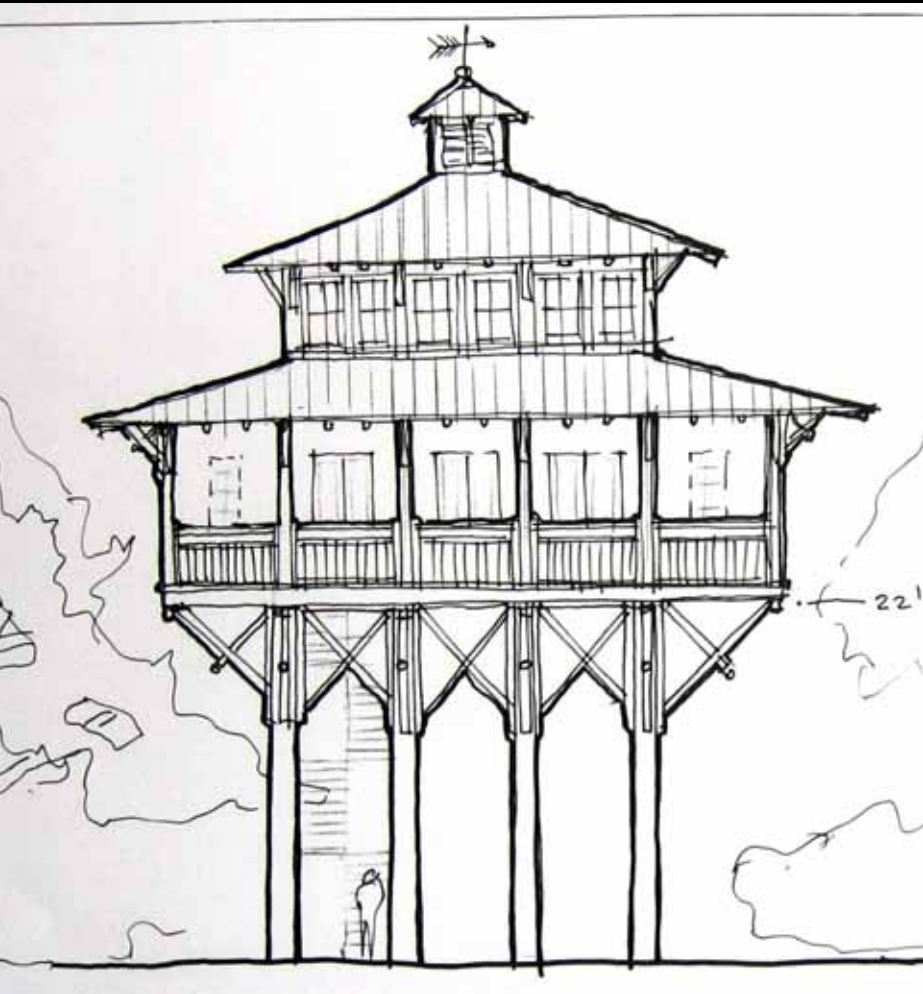
Please refer to Draft Report titled "Preliminary Mississippi
Flood Frequency Analysis for Hurricane Katrina" for supporting
technical documentation for the information shown on this map.

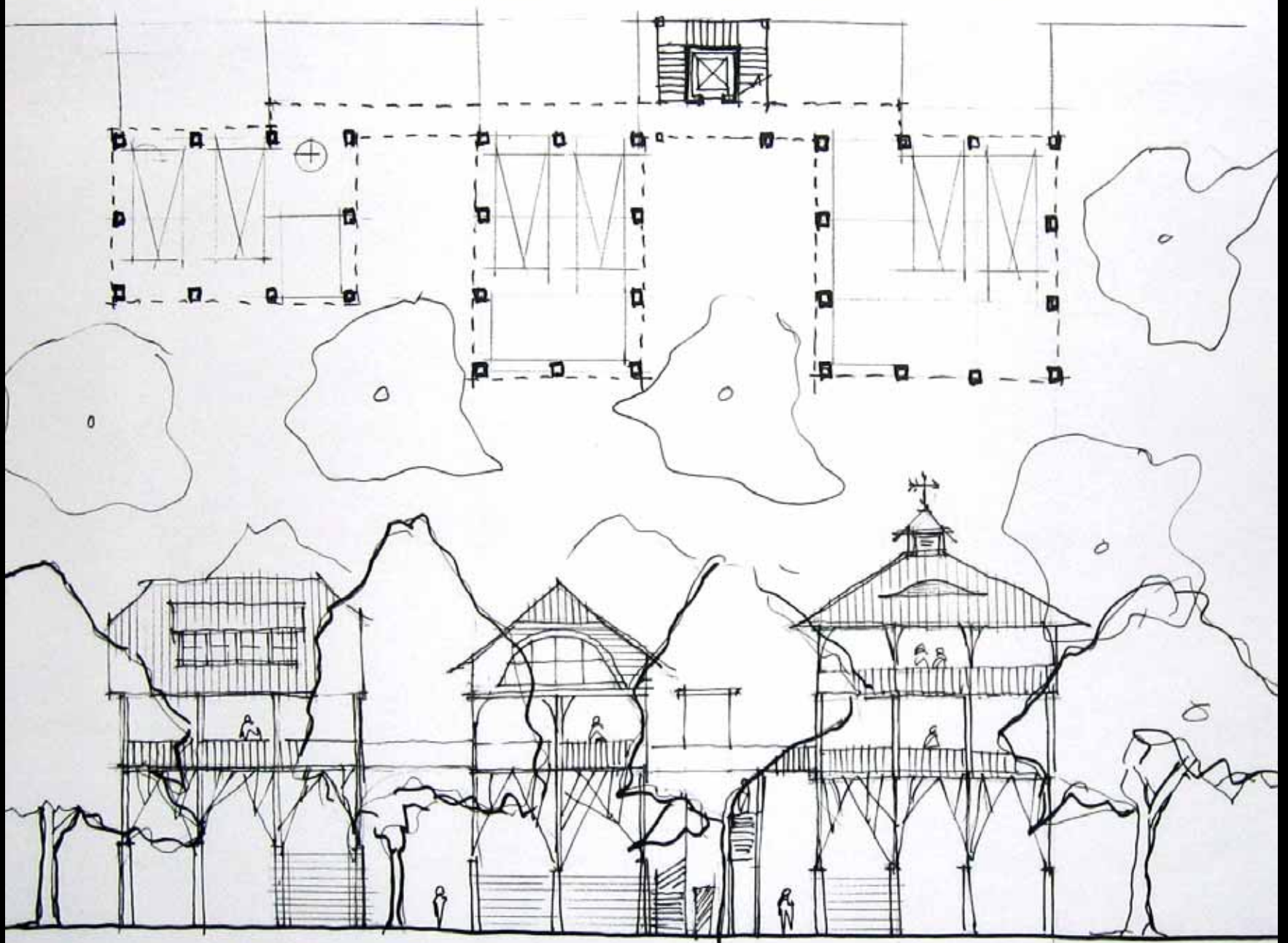
All elevations are in reference to NAVD88



DRAFT







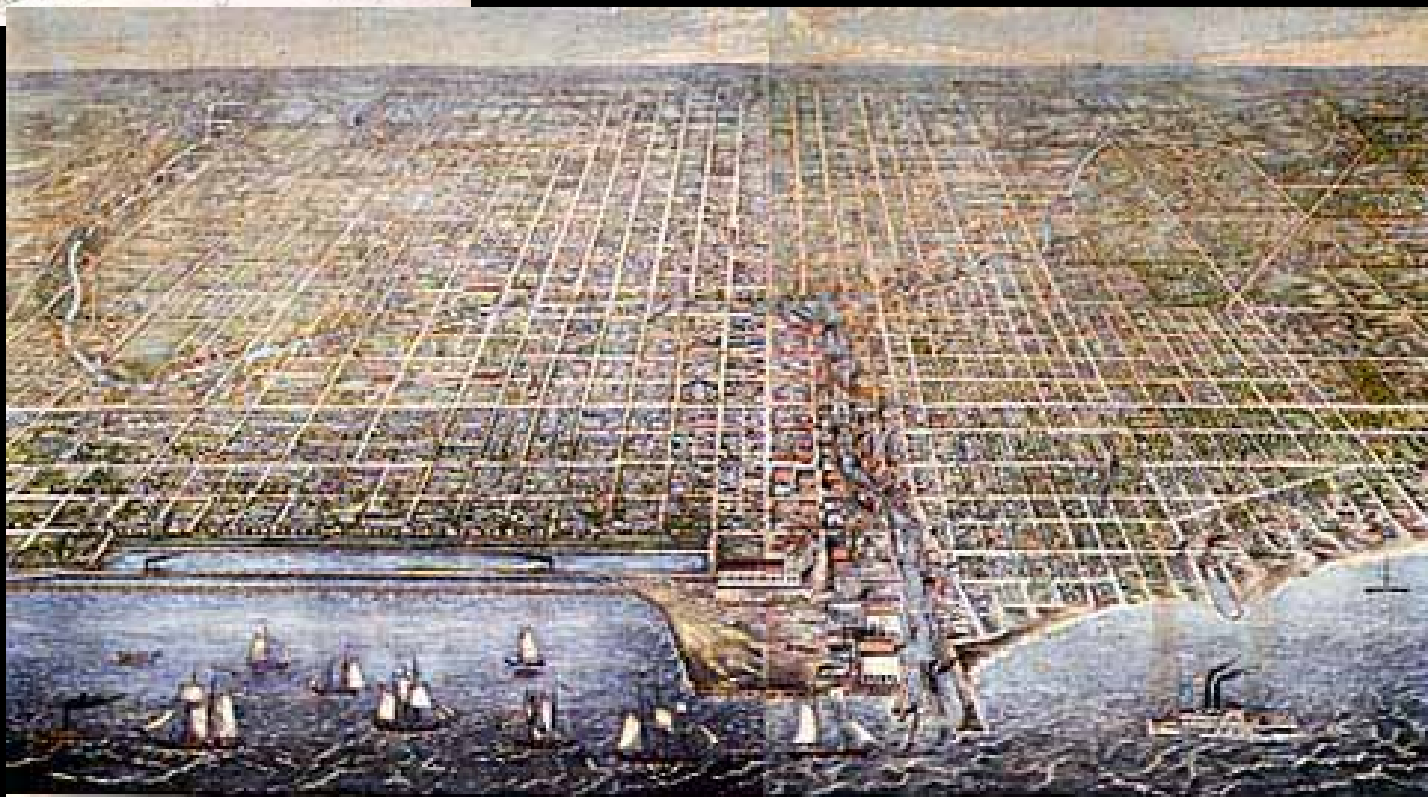
RAISED COTTAGES WITH SHARED ELEVATOR



Chicago



IN 1820.



CHICAGO, ILL.

WAVELAND, MISSISSIPPI



Design Team

Robert Orr, Lead
Catherine Johnson
John Massengale
Pat Pinnell
Mike Watkins, DPZ